



**ADA TOWNSHIP PLANNING COMMISSION MEETING
THURSDAY, MARCH 21, 2024, 5:30 P.M.
ADA TOWNSHIP OFFICE, ASSEMBLY HALL
7330 THORNAPPLE RIVER DR SE, ADA, MI**

AGENDA

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF AGENDA

IV. APPROVAL OF MINUTES OF FEBRUARY 15, 2024, REGULAR MEETING

V. PUBLIC HEARING

1. Request for Planned Unit Development (PUD) Amendment for expansion and amendment of an existing PUD for a commercial warehouse/storage facility (The Caves) to contain a total of 15 buildings (existing and proposed) on a total of +/- 6.75 acres in the I Industrial District, The Caves LLC, Tom Reed, 4900 and 4920 Fulton Street East, Parcel Nos. 41-15-30-300-019 and 41-15-30-300-020
2. Request for Special Use for vehicle fleet storage facility on a +/- 4.3 acre site in the I Industrial District, Jeffrey Bowerman/200 Alta Dale Holdings LLC, 200 Alta Dale Ave. SE, Parcel No. 41-15-29-327-005

VI. UNFINISHED BUSINESS

VII. NEW BUSINESS

1. Request for Extension of PVM Development Plan approval for 7369 Thornapple River Drive SE (6-unit residential building), Ken Dixon/Ufuk Turan/1411 Robinson LLC, Parcel No. 41-15-34-126-021
2. Request for Site Plan Approval for proposed addition at 6210 E. Fulton Street, Dan Vos Construction/Dale Roseboom, Ada Valley Meats, Parcel No. 41-15-29-445-001
3. Planning Commission Annual Report
4. Election of Planning Commission Officers (Chair, Vice-Chair, Secretary)

VIII. COMMISSION MEMBER / STAFF REPORTS

IX. PUBLIC COMMENT

X. ADJOURNMENT



ADA TOWNSHIP PLANNING COMMISSION MINUTES OF THE MEETING FEBRUARY 15, 2024, REGULAR MEETING

DRAFT

A regular meeting of the Ada Township Planning Commission was held on Thursday, February 15, 2024, at 5:30 p.m., at the Ada Township Hall, 7330 Thornapple River Drive, Ada, Michigan.

I. CALL TO ORDER

Chair Korth called the meeting to order at 5:30 p.m.

II. ROLL CALL

Members Present: Butterfield, Jacobs, Kluting, Korth, Moyer

Members Absent: Burton, VanderVennen

Staff Present: Bajdek, Buckley, Said, Suchy

Others Present: 4

III. APPROVAL OF AGENDA

Moved by Jacobs, supported by Moyer, to approve the agenda as presented. Motion carried.

IV. APPROVAL OF MINUTES OF JANUARY 18, 2024, REGULAR MEETING

Moved by Jacobs, supported by Moyer, to approve the January 18, 2024, Regular Meeting minutes as presented. Motion carried.

V. PUBLIC HEARING

1. Special Use Permit for a new addition to a previously approved classroom addition at Ada Christian School, Shawn Bates/Dan Vos Construction on behalf of Ada Christian School Society, 6206 Ada Drive SE, Parcel No. 41-15-32-400-036

Shawn Bates, Civil Engineer with Dan Vos Construction, on behalf of Ada Christian School presented his request for two additions to the originally approved plans (four-classroom addition) in July 2023. Mr. Bates went over details on the location and sizes of the new corridor and receiving room and said it allows for more locker room space and a connection to another entrance (approximately 900 sq. ft. addition).

Planning Director Said stated the request is a relatively small-scale project. Said confirmed that they are proposing a small addition for the receiving area and a corridor addition that will extend out toward the northwest. Said explained that staff have no reason for concern for the proposed additions.

Korth opened the public hearing at 5:36 p.m. There was no public comment and the public hearing was closed.

There was Commissioner discussion that helped clarify what the proposed additions are in comparison to the last request. Moyer made note that the plan presented last July was a 'preliminary' plan vs. the current submission has a 'final' plan and there are quite a few changes. Moyer said he thinks the current plan is better thought out. The Commissioners agreed with Moyer that the current plan was better.

Moved by Jacobs, supported by Kluting, to approve the new addition request for Ada Christian School. Motion carried.

VI. UNFINISHED BUSINESS - none

VII. NEW BUSINESS - none

VIII. COMMISSION MEMBER / STAFF REPORTS

Said introduced 2 students visiting Ada from Michigan State University (Planning program). Said made note that the new Planning Commissioner recently appointed is Rob VanderVennen.

IX. PUBLIC COMMENT - none

X. ADJOURNMENT

Moved by Jacobs, supported by Moyer, to adjourn the meeting at 5:56 p.m. Motion carried.

Respectfully submitted,

Jacqueline Smith, Ada Township Clerk

rs:eb



MEMORANDUM

Date: 03.13.23

TO: Ada Township Planning Commission
FROM: Department of Planning
RE: **March 21, 2024 – Planned Unit Development (PUD) Amendments – 4900 and 4920 Fulton Street SE – The Caves – (Parcel #s: 41-15-30-300-019 and -020)**

Request Overview

The applicant proposes to amend the existing Planned Unit Development (PUD) approval for this site ("The Caves") with an expansion to include new buildings, revisions to previously-approved (but not constructed) buildings, and related site changes. The applicant also proposed to unify the adjacent parcel at 4900 Fulton (former Anderson site) with the preexisting subject property (4920 Fulton) to a single development area. The parcel at 4900 contains about 2.27 acres, while the 4920 site has about 4.48 acres, for a combined land area of approximately 6.75 acres.

Specifically, the applicant proposes five new buildings for the site, and use of the former Anderson building (+/- 6,500 square feet), for the existing storage/warehouse spaces with ancillary offices. The proposed site changes include the following new additions:

- Building 12; 3,600 square feet (SF) (60' x 60').
- Building 24; 6,650 SF (70' x 95').
- Building 25; 3,600 SF (40' x 90').
- Building 26-27; 5,400 SF (30' x 60' and 60' x 60'). Note: the labeled building size and dimensions do not correspond to the plans nor to actual area calculations; the applicant will need to reconcile this figure prior to Planning Commission action.
- Building 28; 1,750 SF (35' x 50').
- Driveways accessing the new buildings.
- Proposed outdoor trailer storage adjacent to Buildings 26-27, 28, and in the western portion of the site.
- Landscape plantings adjacent to the proposed frontage driveway.

Based on Zoning Ordinance requirements [Sec. 78-459(c)(2)b.2.], this proposal requires both Township Planning Commission review and Township Board final action; in effect, this is a request for both preliminary and final PUD approval. Language in this section specifies that any increase in the number of buildings requires review of a preliminary plan by the Planning Commission and Township Board.

The site is accessed via a driveway intersecting Fulton Street. The previously-existing Caves property had an access easement through the Anderson site, which also provides access to two other industrial buildings adjacent the subject property (4850 and 4870 Fulton). The property that the common driveway is located on is part of 4900 Fulton, now owned by the applicant.

Analysis

Project History

The PUD for this location was originally approved in 2017, with approval of 11 buildings on the original 4920 site. The applicant then returned to the Planning Commission in October 2022 for a PUD pre-application conference, then again in February 2023 with another pre-application

conference. During the previous preapplication conferences, the Planning Commission and Staff identified a number of topics for the applicant to address. The applicant then submitted an application for a PUD amendment later in 2023, but opted to withdraw the request in September, 2023, before it was scheduled for Planning Commission review.

At the time of pre-application review, the Commission and Staff discussed a number of concerns with the applicant, including the proximity of proposed buildings to the front and side lot lines, which remain concerns with the current request. The current request also includes a number of new components (such as outside storage) that were not previously proposed, but are commented on in this Staff Report.

Zoning Ordinance Requirements

The proposal does not meet the following Zoning Ordinance requirements:

- Front yard setback; Building 24 and potentially Building 25; 50 feet required; approximately 30 feet provided. The applicant will need to confirm exact setback distances prior to Planning Commission action.
- Side yard setbacks for Buildings 24 and 12; 50 feet required; 10 feet proposed for Building 24, and 47 feet proposed for Building 12.
- Rear yard setback for Building 12; 50 feet required; 47.5 feet proposed.

Buildings

The proposed buildings will match the existing Caves structures, and as proposed all meet applicable height requirements.

The applicant will need to combine the two existing lots, as two of the proposed buildings straddle the existing lot line between the two subject sites. A condition of approval is included regarding this item.

The applicant needs to identify the proposed phasing of this project for Planning Commission review, with submittal of a phasing plan.

Utilities

The applicant proposes to install stormwater drainage improvements to accommodate the new development to accommodate the additional impervious area proposed beyond the originally-approved site plan. The Township consulting engineer will require the project engineer to provide written verification that the stormwater drainage calculations and detention pond size will accommodate this additional area. A condition of approval is included to address this requirement.

Based on communications with the Township utilities consultant and Kent County, Staff has no objection to omitting any restroom count restrictions for this PUD. Well and septic volumes are overseen by the Kent County Health Department, which typically involves overall volume/usage, in lieu of specific bathroom numbers. However, the pre-existing limitations on bathroom and business usage, including no public visits and other restrictions, need to remain a part of this request so as to limit water usage and ensure safe well and septic usage.

It is also important to note that at such time that municipal water and sewer service is provided to the adjacent property to the east (155 Spaulding), the applicant shall be required to connect the subject site to these services. A condition of approval is included to address this topic.

Staff Commentary

The following concerns are identified for Planning Commission review:

- Staff recommends that the proposed outdoor storage areas located in the western portion of the site and adjacent to Building 28 **not** be approved. The authorization of outdoor storage in visible areas will create a poor precedent, be highly visible from Fulton Street (western area), is shaped to not accommodate trailers (adjacent to Building 28), and will be extremely difficult to control in the future. The area adjacent to Building 26-27 would be acceptable given its placement within the interior of the site.
- Staff recommends that the location of Building 12 as currently shown **not** be approved. The proposed location, within 10 feet of the eastern property line, would also set a poor precedent for development, and would place an inappropriate burden on the adjacent property to the east. This would be especially problematic if residential development takes place on the adjacent property. A reduction in size of the building, and the provision of a landscape buffer would assist in addressing these concerns.
- Staff has concerns with the installation of an additional driveway along the frontage of the site (to access Buildings 12 and 25). The applicant proposes to install trees along this frontage, although Staff is concerned that there is not enough room for the tree plantings on the subject property. Staff requests that the Planning Commission provide a recommendation concerning this matter.

PUD/Zoning

The following PUD Standards (Sec. 78-446) are provided to assist the Planning Commission with the applicable criteria for review of such requests. It is important to note that **a PUD is not a right, but a privilege that must be earned**. If the Township Planning Commission and Township Board eventually confirm that that this project is approved, the applicant has specific responsibilities for completing the development as specified in the approved plans.

The PUD Standards of Sec. 78-446 are as follows:

(c) The PUD regulations provided by this article are intended to:

- (1) Provide a more desirable environment by preserving open fields, woodlands, wetlands, areas of steep topography, creeks, ponds and similar natural assets;*
- (2) Encourage a creative approach to development design in the township;*
- (3) Encourage an efficient, aesthetic and desirable use of open areas and a reduction in development costs by allowing the developer to avoid and preserve natural obstacles on the site;*
- (4) Encourage preservation of land meeting certain characteristics as permanent open space, by providing a residential density incentive for residential developments in specified zoning districts that are designed to set aside a minimum of 40 percent of the land area in the development as permanent open space;*
- (5) Promote the goals of the township's master plan to maintain the township's rural character, maintain an attractive landscaped corridor along the township's major roadway frontages, maintain the traffic carrying capacity of the township's major roadways, and protect environmentally-sensitive areas; and*
- (6) Provide the township with a higher degree of control over the types of uses and design details of development in locations where application of traditional zoning requirements may not be appropriate.*

(d) The provisions of this article are not intended to be used solely to avoid the otherwise applicable requirements of this chapter, including the provisions of any other zoning districts established by this chapter. For residential PUDs, it is not the intent of this article to permit higher density in a PUD than is reasonably and realistically achievable in conformance with the conventional zoning district standards of this chapter, as demonstrated by the alternative plan submittal required by this article, unless the PUD plan more effectively achieves the purposes and intent of the PUD regulations, as stated herein.

Conclusion & Recommendation

Staff recommends that this matter be tabled until the required information and noted concerns are addressed.

The following conditions are provided as reference only at this time, for use when the Planning Commission ultimately acts on this matter:

1. The approved PUD Plan shall be carried out in substantial conformance with the plans prepared by Callen Engineering, Inc., Sheets _____, dated _____.
2. That the uses permitted in the PUD shall be limited to uses permitted by right in the Industrial (I) district, with the exception of the following uses, which shall be prohibited:
 - a. Any manufacturing, fabrication or processing of goods.
 - b. Professional and administrative offices, including legal, architectural, engineering, accounting, data processing, insurance, real estate, securities brokerage, financial planning and investment advisory services, but excluding health care professions, banks, saving and loans, mortgage lenders and other financial services.
 - c. Vehicle fleet storage, maintenance and fueling facilities.
 - d. Offset printing, including ancillary activities such as photocopying and facsimile transmittal services.
 - e. Commercial photographers' studios, including ancillary portrait photography services as a secondary activity.
 - f. Churches.
 - g. Day care centers.
 - h. Public and private use heliports.
 - i. Production, sales, storage, or distribution of any food or beverage products.
 - j. There shall be no on-site sales of retail goods or services, nor shall there be public visits to this location.
3. The phasing of the project shall be as depicted in the "phase plan" drawing received_____.

4. All public and private utilities serving the development shall be underground.
5. Prior to the issuance of any permit, the applicant shall obtain a stormwater permit from the Township, and shall obtain Township Engineer approval of the proposed stormwater plan.
6. Permits for on-site potable well and on-site waste disposal system shall be issued by the Kent County Health Department, prior to issuance of any building permits.
7. Building wall-mounted exterior lighting shall be limited to one fixture per unit service entry door, plus one additional fixture per building at a location determined by the applicant, with the exception that no fixtures shall be installed along the east wall of buildings along the east edge of the property. All fixtures shall be full horizontal cutoff fixtures mounted in a vertical downward position. No light shall spill over onto adjacent properties.
8. At such time that municipal water and sewer service is provided to the adjacent property to the east (155 Spaulding), the applicant shall be required to connect the subject site to these services within one year.
9. Prior to the issuance of any permits, the applicant shall complete a lot combination request to merge 4900 and 4920 Fulton.
10. The applicant shall be required to install a Knox Box, or series of Knox Boxes, prior to the issuance of any certificates of occupancy, subject to approval of the Ada Township Fire Chief.
11. No signs are approved with this request.



TOWNSHIP

PLANNED UNIT DEVELOPMENT (PUD) APPLICATION

RECEIVED

FEB 22 2024

PLANNING & ZONING
ADA TOWNSHIP

An application fee and escrow deposit must accompany this form.

Applicant Information:

Name: THE CAVES

Address: 2946 WOODLEAF CIR SE

Phone Number: 66-644-7514 Email: REGISTON@COMCAST.NET

Property Owner Name and Address (if different than above): _____

Property Information:

Property Address: 4920 FULTON E. ADA, MI 49301

Parcel Number: 41 - 15-30-300-020

Current Zone District Classification: IND

Name of Project: THE CAVES

Summary Description of Project: STORAGE BUILDINGS

- Type of Application: ☐ Pre-Application Conference - (application fee \$50.00)
☒ Preliminary PUD or Revised Preliminary PUD - (application fee \$500.00)
☐ Final PUD - (application fee \$250.00)
☐ Revised Final PUD - (application fee \$250.00)

Note: Electronic file/pdf is required on all applications (submit via email).

I (we), the undersigned, do hereby make application and petition the Township to amend the Ada Township Zoning Ordinance and associated zoning map and also hereby grant permission to Ada Township and its officials and staff to enter upon the subject property for purposes of review and evaluation of this request.

Applicant's Signature(s): _____ Date: 2-21-24

Property Owner's Signature(s): _____ Date: _____
 (If different than above)

TO BE COMPLETED BY ADA TOWNSHIP PLANNING DEPARTMENT

Application Received: <u>2-22-2024</u>	Initial: <u>eb</u>	The Caves LLC	
mm / dd / yy			
Application Fee of \$ <u>500⁰⁰</u>	Received: <u>2/22/24</u>	Initial: <u>EB</u>	Check # <u>152</u> Receipt # <u>364731</u>
	mm / dd / yy		
Escrow Deposit of \$ <u>1000⁰⁰</u>	Received: <u>2/23/24</u>	Initial: <u>EB</u>	Check # <u>152</u> Receipt # <u>364731</u>
	mm / dd / yy		

Updated 12/21/2023

(f:/users/planzone/app&forms/app templates)

THE Caves

With the purchase of the Blue Anderson building on Fulton The Caves will be expanding.

“The Caves” will provide space for your Small Business, Man-cave, the Hobbyist, Storing your large toys or whatever you may need it for.

This is something we have been working on for years and now we were able to purchase the Anderson property. This was a great fit for our site being that is contiguous with our current property.

We hope to start Construction in the Spring of 2024.

Spaces will range from 1500sf to 6750sf. These spaces will be available for rent. We are planning 3 or 4 more buildings with 5 to 8 additional units. The unique design of our development is more attractive verses one large building divided into smaller spaces, everybody does that. This creates a pride of community and a large cross section of users/businesses. The spacing provides more green space and attractive development that will be well manicured and kept in an orderly manner.

Our development will be built in phases and/or “Built on Demand”. Each buildings floor plan will be an open space and will be designed when we apply for the building permit. The floor plan will be determined based on the tenants’ requirements. More details on our building process are included later in this document under the “Development Plan Section”.

Below please find a rough site sketch.

Other Features:

Custom configured and designed suites. Convenient location for Ada, EGR, Forest Hills & Cascade.

Your New Office, Home away from Home, Hobbyist, Storing your large toys or The Man-cave you have always wanted.

Gas, Water, Sewer, Electric and Cable; 16 foot Ceiling, 12 to 14 foot overhead Doors.

(18)

THE Caves

Special Variances requested:

1. Building #12 – we are asking for a **3 to 4-foot variance long the East side** of the building and a **2 to 3 foot variance along the south side** of the building. Fifty-foot set backs are required in this area. We want to keep this building the same size as the other and provide more vehicle maneuvering in this area.
2. Building #25 we are asking for a **3-foot variance on the north side** of this building. By moving this building north, it will give us more room for utility lines on the south side of the building. The setback in this area is 50 feet
3. Building #24 we are asking for a **35 to 40 foot variance along the east side** and a **15 to 20 variance on the north side**. We came to these setback numbers based on working with staff of Ada Township.

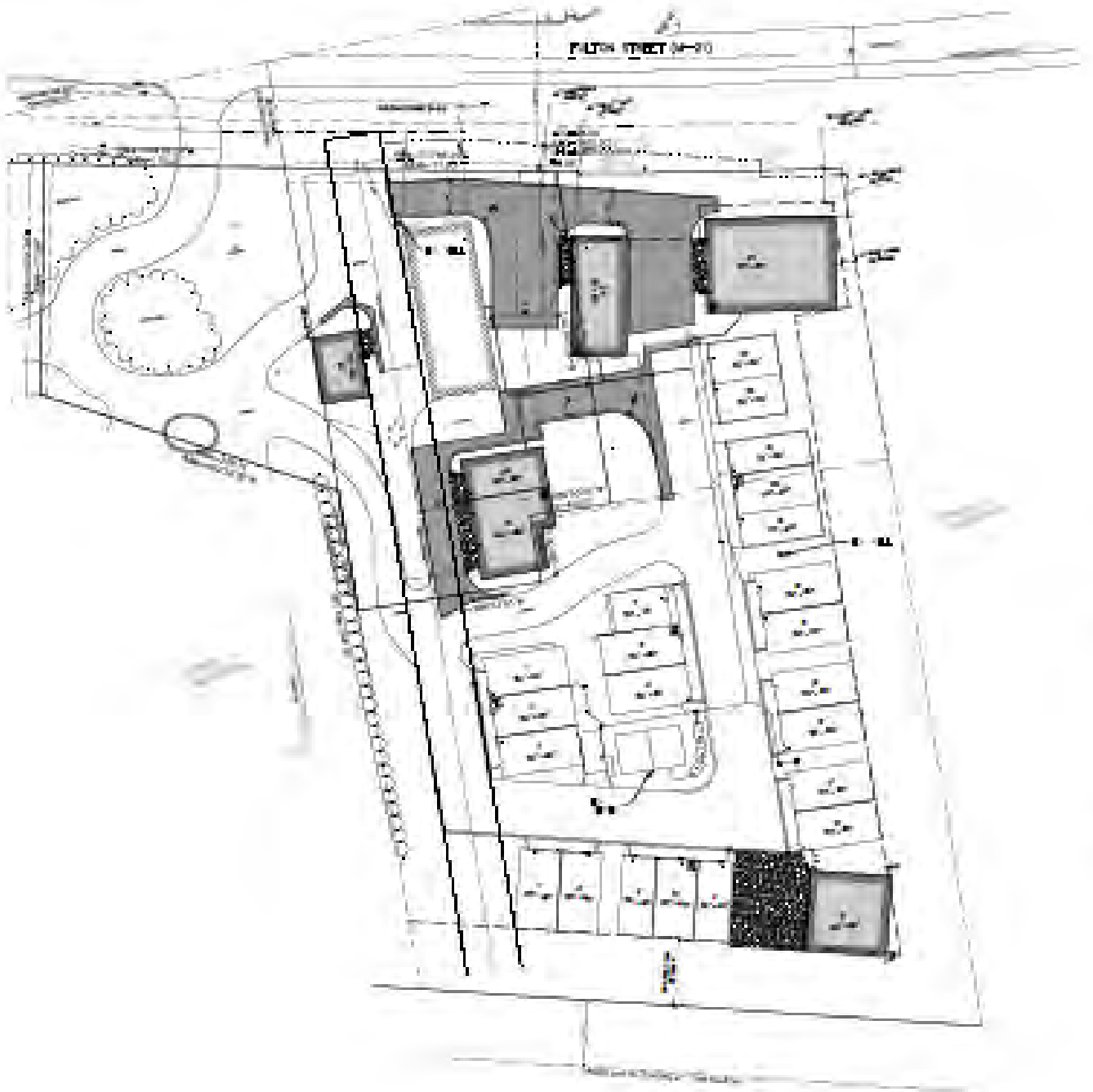
The reason we have a footage range is to give us some flexibility when laying out the buildings. We would in most cases use the smaller variance number if we can. For example: on building 24 we may need to shift a little bit as we excavate the site. Therefore, we want the flexibility use either number.

4. Number of Bathrooms – currently we are restricted to 5 bathrooms and we want to **expand this number 11 bathrooms**. The KCHD has approved this number of bathrooms. Thus, we feel Ada Township should not have an issue with this request. It is a very important issue for the success of our site expansion.

THE Caves



THE Caves



THE Caves

Legal Parcel Description: (1&2&5)

Parcel B:

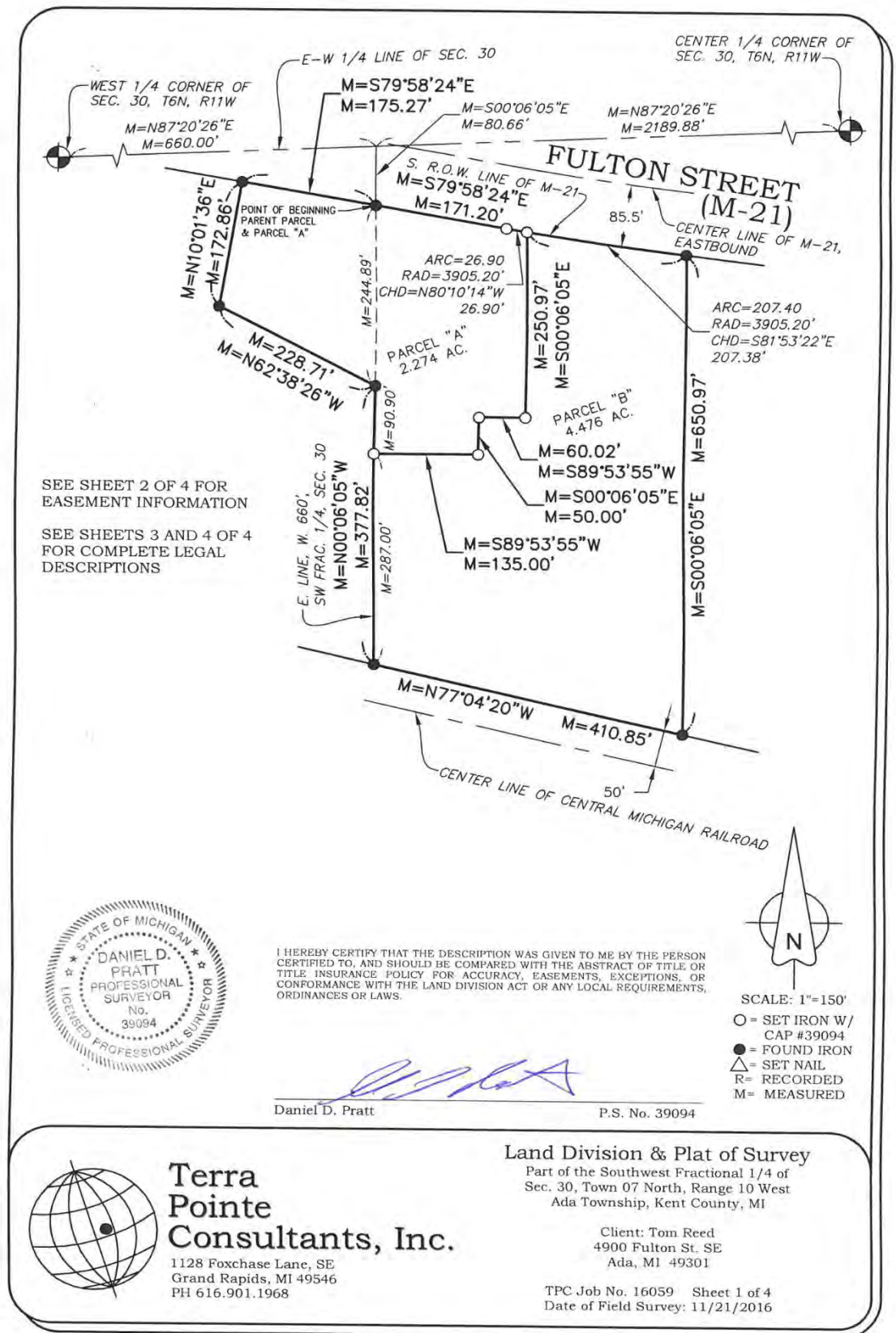
Part of the Southwest fractional one-quarter of Section 30, Town 07 North, Range 10 West, Ada Township, Kent County, Michigan, described as follows: COMMENCING at the West one-quarter corner of said section 30; thence N 87°20'26" E 660.00 feet along the East-West one-quarter line of said section; thence S 00°06'05" E 416.37 feet along the East line of the West 660 feet of the Southwest fractional one-quarter of said section, to the TRUE PLACE OF BEGINNING; thence N 89°53'55" E 135.00 feet; thence N 00°06'05" W 50.00 feet; thence N 89°53'55" E 60.02 feet; thence N 00°06'05" W 250.97 feet; thence Easterly 207.40 feet along said South right-of-way line, on a 3905.20 foot radius curve to the left, the chord of which bears S 81°53'22" E 207.38 feet; thence S 00°06'05" E 650.97 feet; thence N 77°04'20" W 410.85 feet along the Northerly line of the Central Michigan Railroad right-of-way (100.00 feet wide); thence N 00°06'05" W 287.00 feet to the place of beginning. Parcel contains 4.476 acres.

PART OF SWFRL 1/4 COM 660.0 FT N 87D 20M 26S E ALONG E&W 1/4 LINE & 80.66 FT S 0D 06M 05S E TO S LINE OF HWY M-21 FROM W 1/4 COR TH S 79D 58M 24S E ALONG SD S LINE 171.20 FT TH ELY 26.90 FT ALONG A 3905.20 FT RAD CURVE TO LT /LONG CHORD BEARS S 80D 10M 14S E 26.90 FT/ TH S 0D 06M 05S E 250.97 FT TH S 89D 53M 55S W 60.02 FT TH S 0D 06M 05S E 50.0 FT TH S 89D 53M 55S W 135.0 FT TH N 0D 06M 05S W 90.82 FT TH N 62D 38M 26S W 228.71 FT TH N 10D 01M 36S E 172.86 FT TO S LINE OF HWY M-21 TH S 79D 58M 24S E ALONG SD S LINE 175.27 FT TO BEG * SEC 30 T7N R10W 2.27 A. SPLIT ON 07/31/2007 FROM 41-15-30-300-011, 41-15-30-300-015; SPLIT/COMBINED ON 10/13/2016 FROM 41-15-30-300-017; Roughly 6.75 Acres

Vicinity Map (3)



(7)

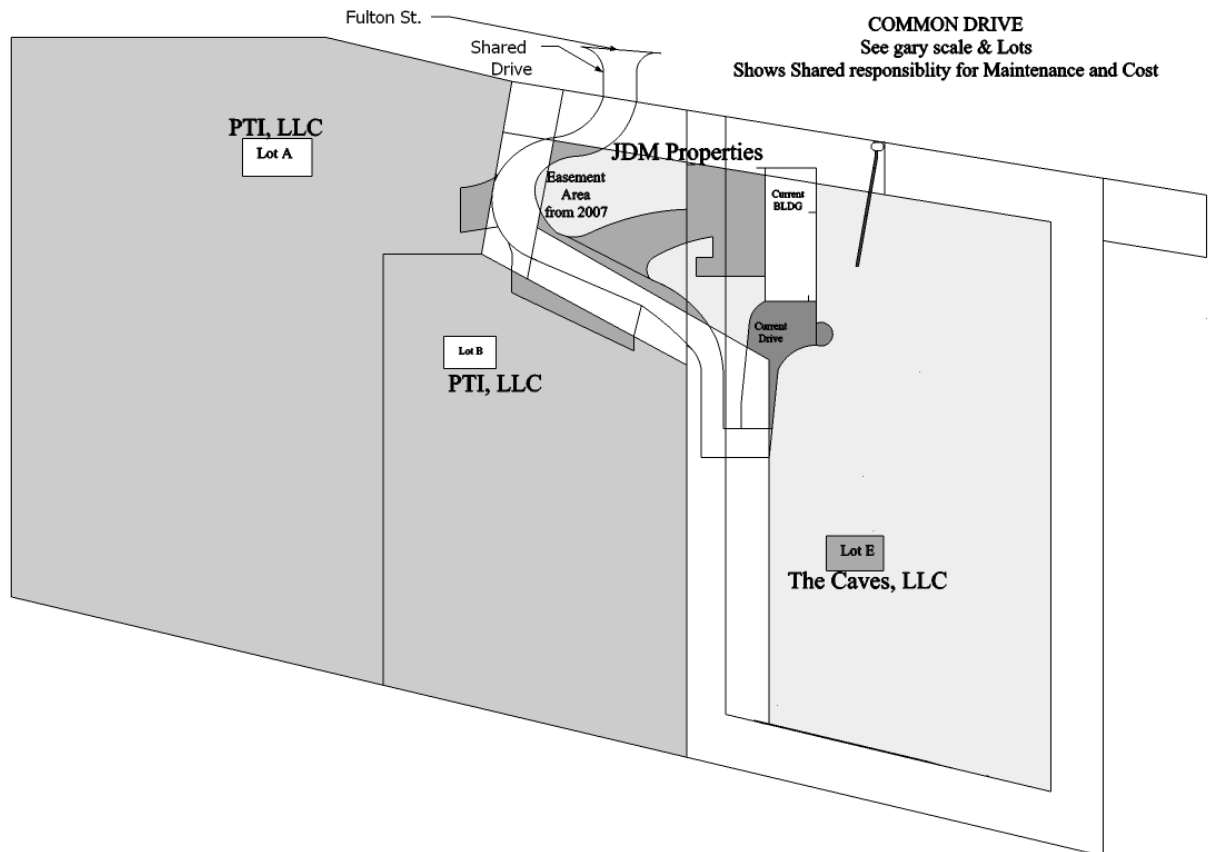


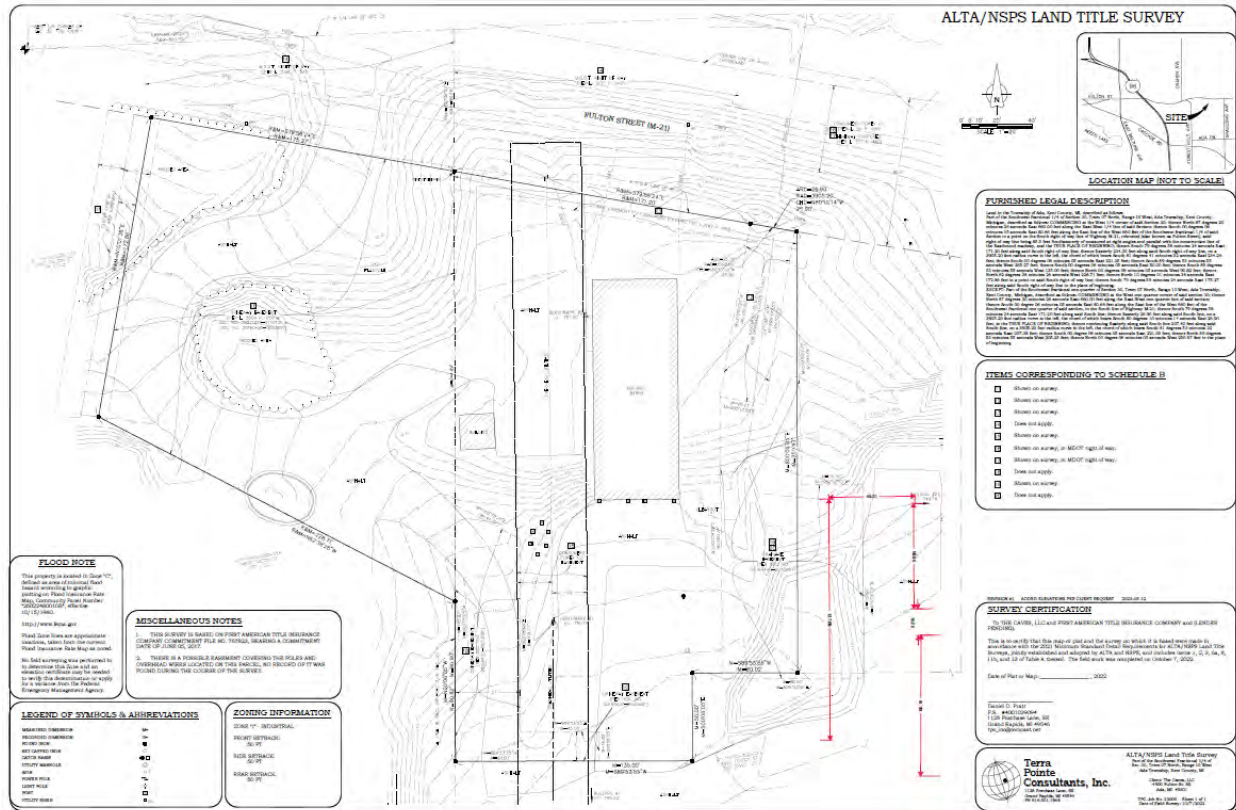
THE Caves

Shared Common Drive Easement:

Utility Easement: (8&9--None)

By sharing the Drive we have eliminated another curb cut on M-21/Fulton.





THE Caves

Contours for “The Caves” Site: ⁽¹¹⁾



THE Caves

100 Year Old Floodplain:

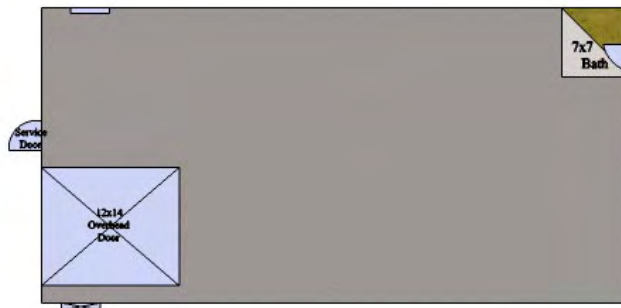
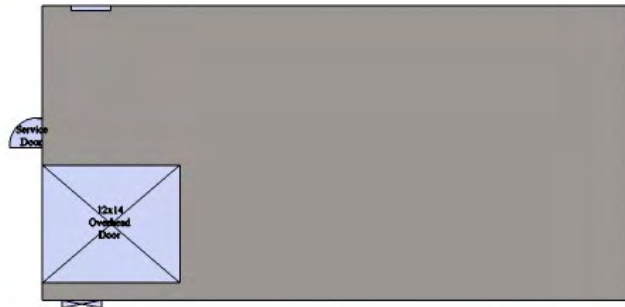
Our site Is not within the 100 year Floodplain (13)



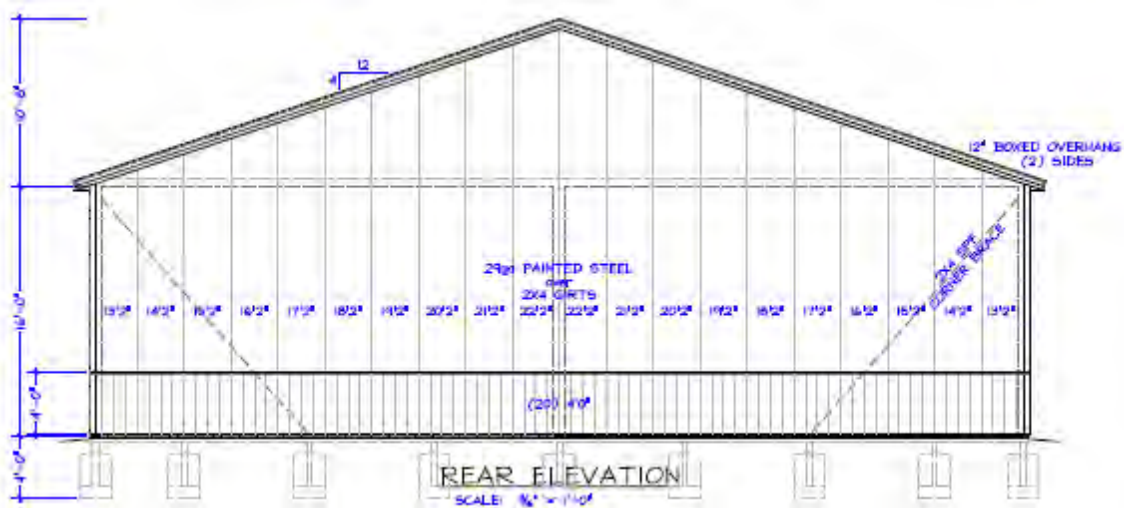
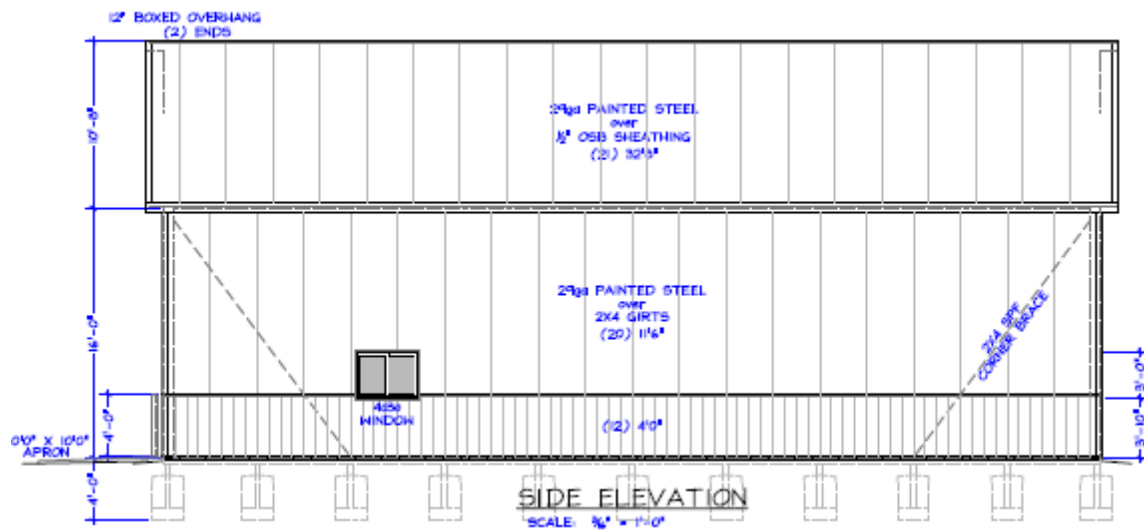
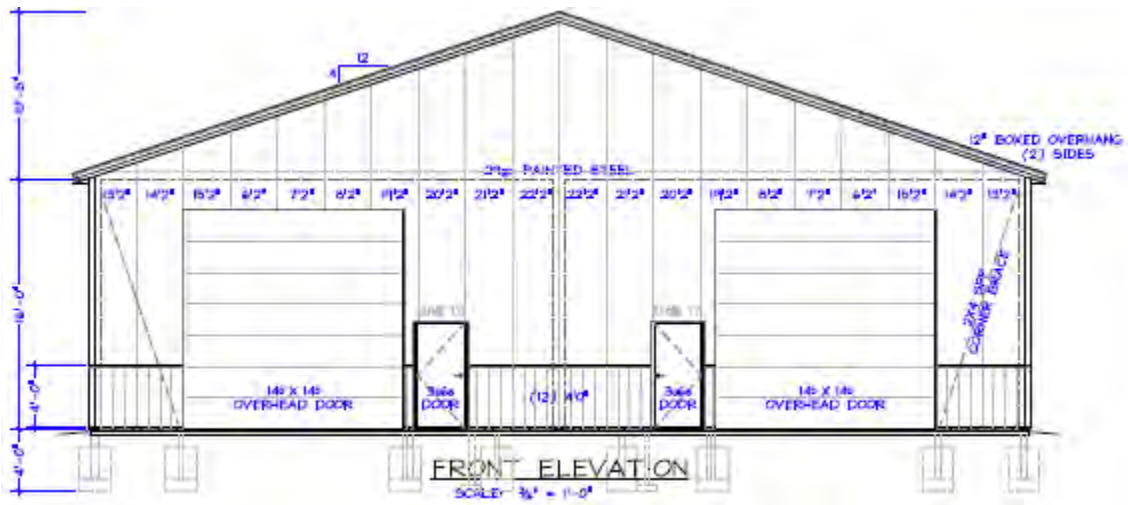
THE Caves

Floor Plans: (19)

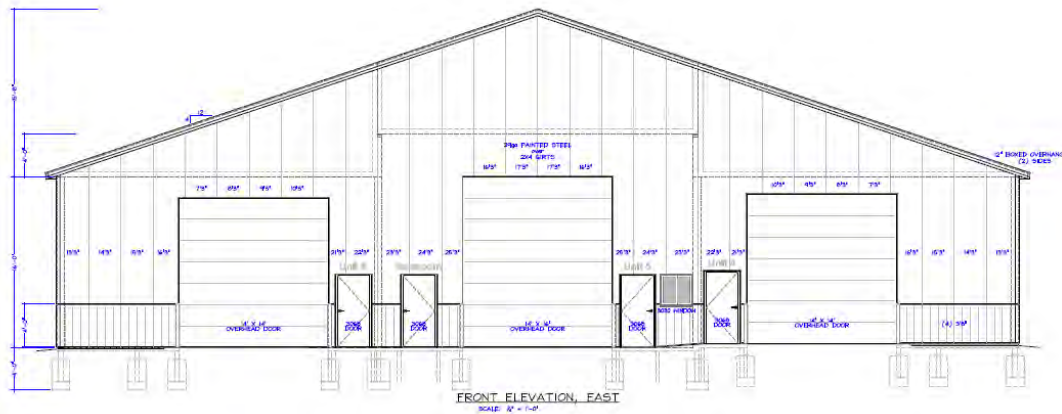
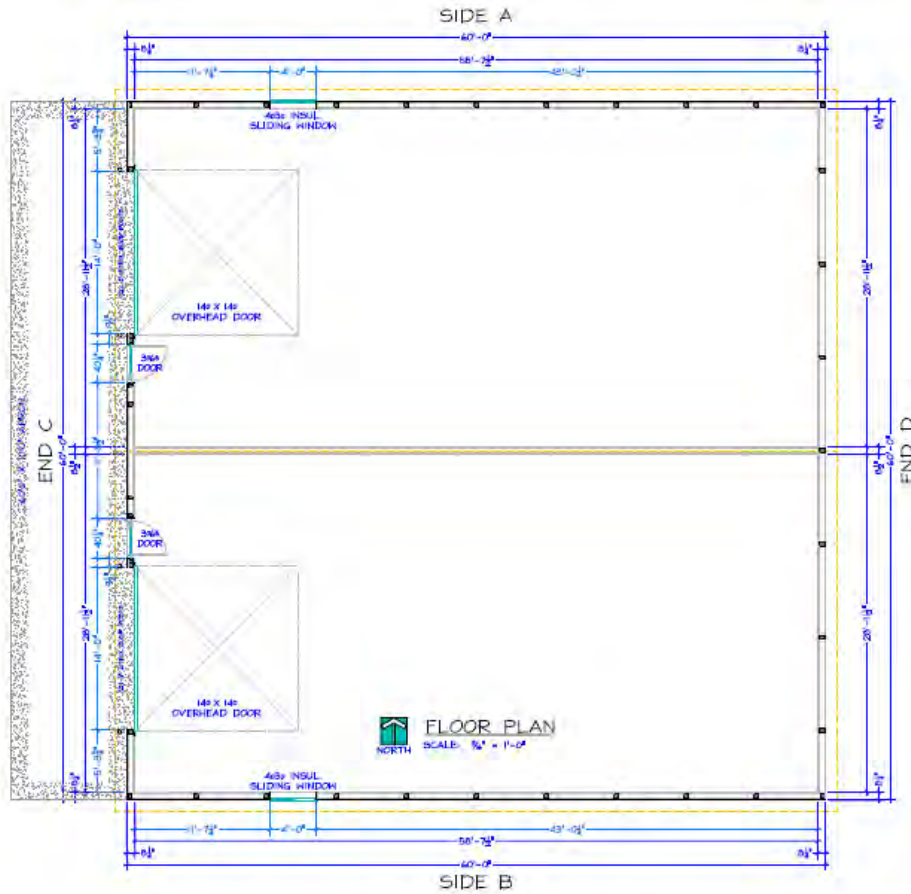
Floor plans will vary per suite depending on Tenants request, but these are the most common floor plans. A more detailed plan will be filed when we apply for building permit. Some of these new buildings will have loft offices as well.



THE Caves



THE Caves



Sample look of Buildings and the layout: (18)

THE Caves



THE Caves

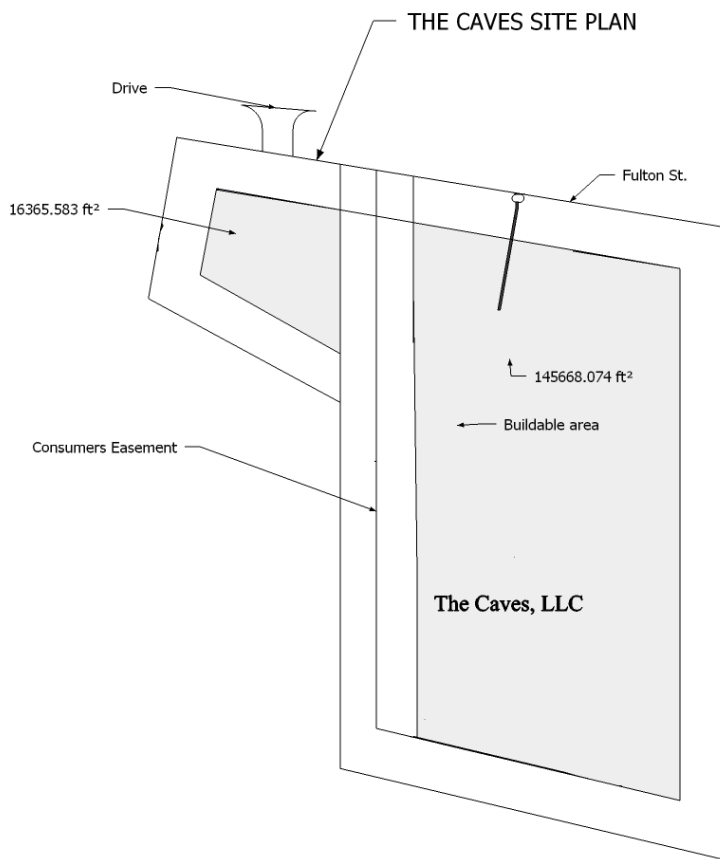


THE Caves



THE Caves

Building Envelope: (22)



Other Facts: (21&23)

Total Square footage of Parcel = 294,030 SF or 6.75 Acres

Open Space = 49.3% or 149,000 Square feet;

Buildable Area Square footage = 162,033 SF or 44.90% of coverage;

Drive = 80,680 SF or 27.45% of coverage; Building coverage 70,000 or 23.8% of coverage

Building Colors will match the existing buildings.

Building height 27.6 ft (Lowest) to 42.6 (Highest)

THE Caves

Development Plan/ Phase Plan: (27)

We build on demand until the project is completed. Once we have a committed Tenant for each remaining building.

Because of the extensive excavation required on the site we will complete excavation for each building as we build each building.

Again, when the two suites are Leased, we will begin the process for the next building. After each building is filled with a Tenant(s) we start recruiting/searching for the next building and we repeat this process until all buildings are built.

Final Landscaping will be installed after each building is completed as long it will be out of the way of future construction traffic.

In today's finance world, building on demand allows us to better manage of dollars. Using this Construction method it could take several years to complete, it all depends on demand. It could be sooner if the spaces are popular. **This process may take longer but it yields a more attractive site in the long run.**

THE Caves

SITE PLAN:

This shows layout of Drives, Water, sewer, Storm water, Utilities and More detail will be in larger drawings submitted separate. **(27,28,29,30 & 31). NOTE: This site has a large elevation change thus we have the two drives in order to access the upper and lower areas. These 4 buildings floor plans may vary more than the other buildings based on tenants needs.**



THE Caves

Landscaping Plan: (32)

Due to an invasive plant (Japanese Knotweed) we will need to eradicate these plants before we can plant many of our landscape trees.

Our Landscaping plan will have challenges meeting the Ada requirements. We feel we have an equivalent plan that uses many of the native trees thus keeping the contiguous flow with the neighboring properties. On our site and adjacent sites there many young native Scotch pine (which are impossible to find at local nurseries) and Juniper trees and we plan to replant as many of these trees as possible. The main issue is that many of these trees may not meet the minimum height requirement but will provide excellent screening and the deer herd will not eat them. Ada calls for, most of these trees are shorter (2' to 5') than required but are of the same exact species which is what we are trying to maintain. We plan to order a large amount of these rare trees and it will be hard to meet exact specs in the Ada ordinance.

We are big Pine tree fans and plan to create a piney feel that will complement the Entry Drive from Fulton and the other neighboring properties.

Our landscaping plan is perimeter pine tree plants along the north and east of the site and just a very nice lawn. This along with our open/green space in the center of the of the development is our park like setting.

The massive drainage requirements due to neighboring properties run-off limits of our landscaping options and planting options. Along with our network of underground utilities makes it very hard for plantings.

THE Caves

Site Lighting: (34)

Above each Service Entry Door we will mount an 18 Watt LED Wall pack with a dawn and dusk photo eye. We will also have one light at each the south and north end in the middle of the circle drive providing light as you travel around the circle drive, this is a dark area. There will be 21 of these lights mounted at about 10 feet high, they provide a very nice level of lighting and all will be pointed downward yielding virtually no upward lighting.



FEATURES & SPECIFICATIONS

INTENDED USE

Provides years of maintenance-free general illumination for outdoor use in commercial applications such as retail, education, multi-unit housing and storage. Ideal for lighting building facades, parking areas, walkways, garages, loading areas and any other outdoor space requiring reliable safety and security.

CONSTRUCTION

Sturdy weather-resistant aluminum housing with a bronze finish, standard unless otherwise noted. A clear polycarbonate lens protects the optics from moisture, dirt and other contaminants.

OPTICS

8 high performance LEDs are powered by a multi-volt (120V-277V) LED driver that uses 18 input watts and provides 1,490 delivered lumens. 100,000 hour LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology.

ELECTRICAL

Rated for outdoor installations, -40°C minimum ambient.

Adjustable Dusk-to-dawn, multi-volt photocell standard automatically turns light on at dusk and off at dawn for convenience and energy savings.

Photocell can be disabled by rotating the photocell cover.

6KV

Surface or recessed mount. A universal junction box is included standard.

All mounting hardware included.

LISTINGS

UL Certified to US and Canadian safety standards. Wet location listed for mounting higher than 4 feet off the ground.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY

5-year limited warranty. Complete warranty terms located at

www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Actual performance may differ as a result of end-user environment and application.

Note: Specifications subject to change without notice.

OLW14

Series Color temperature (CCT): Voltage Control Finish

OLW14 1400 lumen LED wall pack **(blank)** 5000K₁

(blank) MVOLT (120V-277V) **(blank)** MVOLT photocell included **(blank)** Bronze

WH White

Accessories: *Order as separate catalog number.*

FCOS M24 Full cutoff shield

FCOS WH M24 Full cutoff shield, white **Notes**

₁ Correlated Color Temperature (CCT) shown is nominal per ANSI C78,377-2008.

THE Caves

7-7/8 (20.1)D
9-5/8 (24.4)D
2 (5.1) T
11-1/8 (28.3) W
4-1/2(11.5)Base W

All dimensions are inches (centimeters) unless otherwise indicated.

Outdoor General Purpose

OLW14

LED WALL PACK

OUTDOOR OLW14

OLW14

OUTDOOR: One Lithonia Way, Conyers, GA 30012 Phone: 800-279-8041 Fax: 770-860-3903 www.lithonia.com © 2011-2013 Acuity Brands Lighting, Inc. All rights reserved. Rev. 12/19/13

OLW14 LED Wall Pack

PHOTOMETRIC DIAGRAMMS

Full photometric data report available within 2 weeks from request. Consult factory. Tested in accordance with IESNA LM-79 and LM-80 standards.

Lithonia Lighting – a LED Surface mounted Bronze OLW14 –Light

THE Caves

Signage: (35)

We will be reusing the current Anderson Sign: Making spaces for upto 6 to 8 tenants

Also, on the buildings within the site signs will be allowed on the door (like a decal)



THE Caves

Parking: (33)

With 30' wide suites each tenant will be allowed to park in front of their suite and shall not infringe on other tenants space, thus yielding a maximum of three spaces per suite. These spaces are not designed for any user requiring more than three parking spaces per suite. No parking lines are planned due to their unsightly nature and the uniqueness of vehicles using the site.

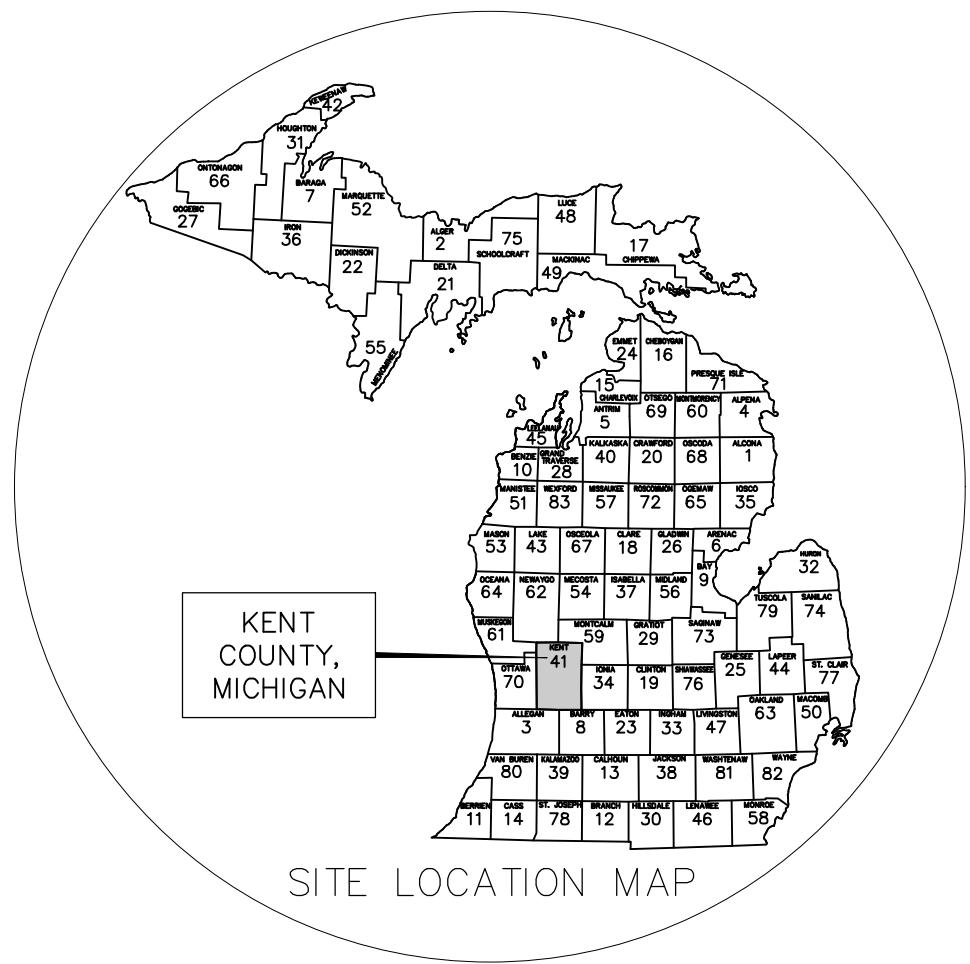
The site is like a village street 60' wide with parking on both sides in front each building front with room for two-way traffic flow.

THE Caves

Circle Drive allows for larger vehicles to maneuver the site and the entire site is Barrier-free.

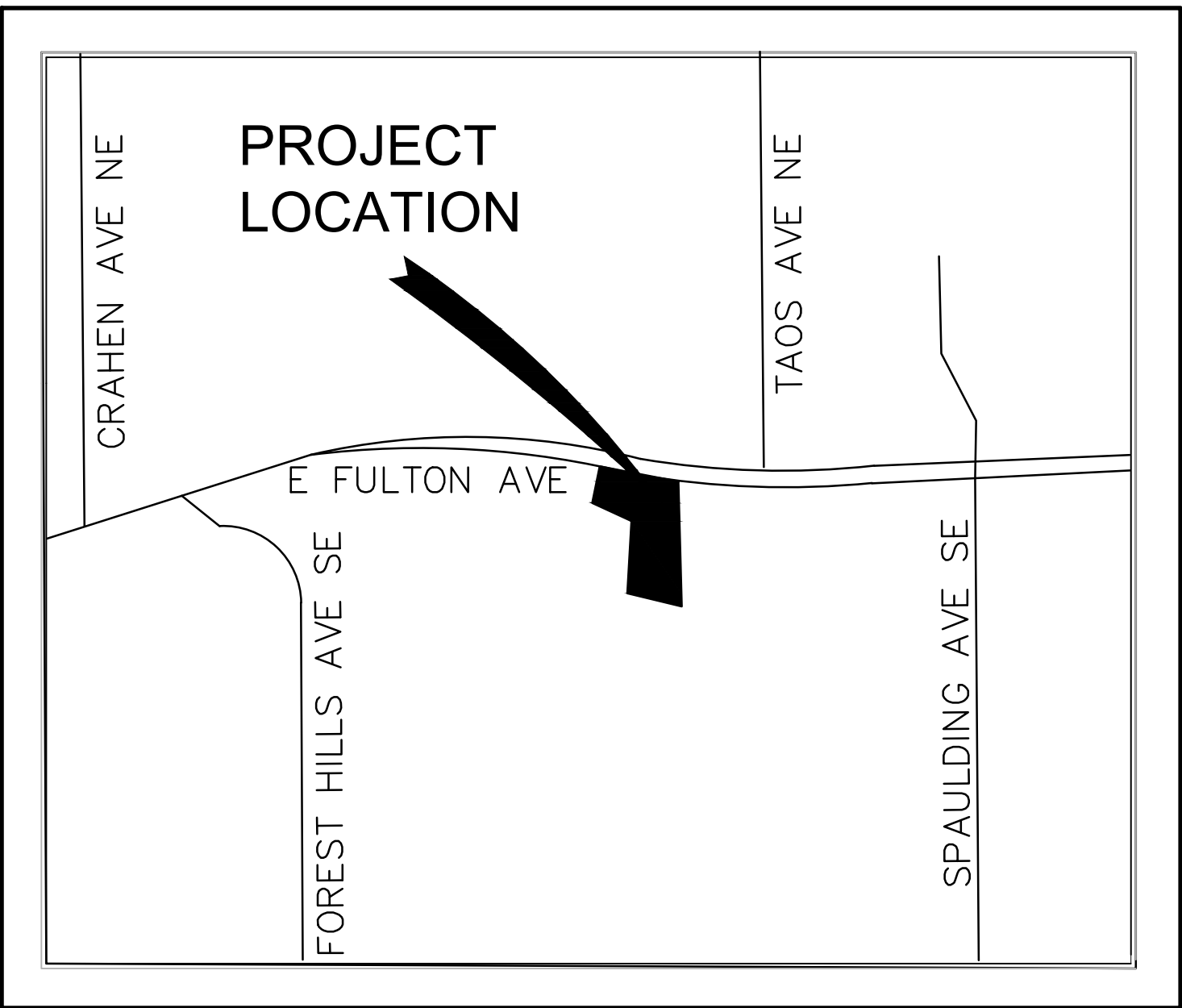


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**THE CAVES - PHASE 2
GARAGE UNITS
4900 - 4920 FULTON STREET EAST
ADA, MICHIGAN 49301**

INDEX OF SHEETS	
CS	TITLE SHEET
C0.1	EXISTING CONDITIONS-REMOVALS PLAN
C1.0	SITE PLAN
C2.0	GRADING AND DRAINAGE PLAN
C3.0	X-SECTIONS, NOTES AND DETAILS
L1.0	LANDSCAPE PLAN



**Know what's below.
Call before you dig.**

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

BENCH MARKS:

- BM1 SPIKE IN SOUTH SIDE OF POWER POLE, SW OF BUILDING
#4900, FULTON ST.
ELEV. 750.87'
- BM2 NORTHWEST CORNER OF 4' WIDE CONCRETE PAD, ON WEST
SIDE, AT MAIN ENTRANCE TO BUILDING #4900 FULTON ST.
ELEV. 762.61'

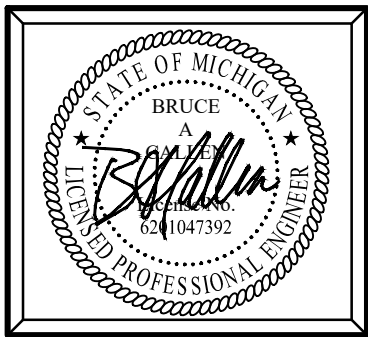
PROJECT LOCATION

**SECTION 30, T7N, R10W,
ADA TOWNSHIP,
KENT COUNTY, MICHIGAN**

OWNER

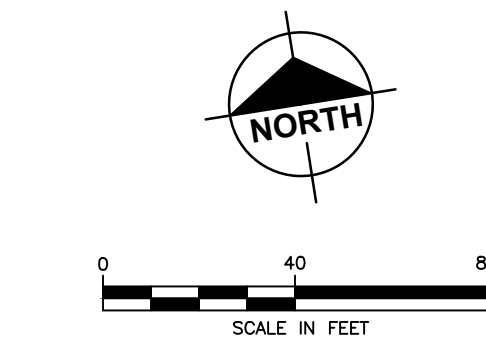
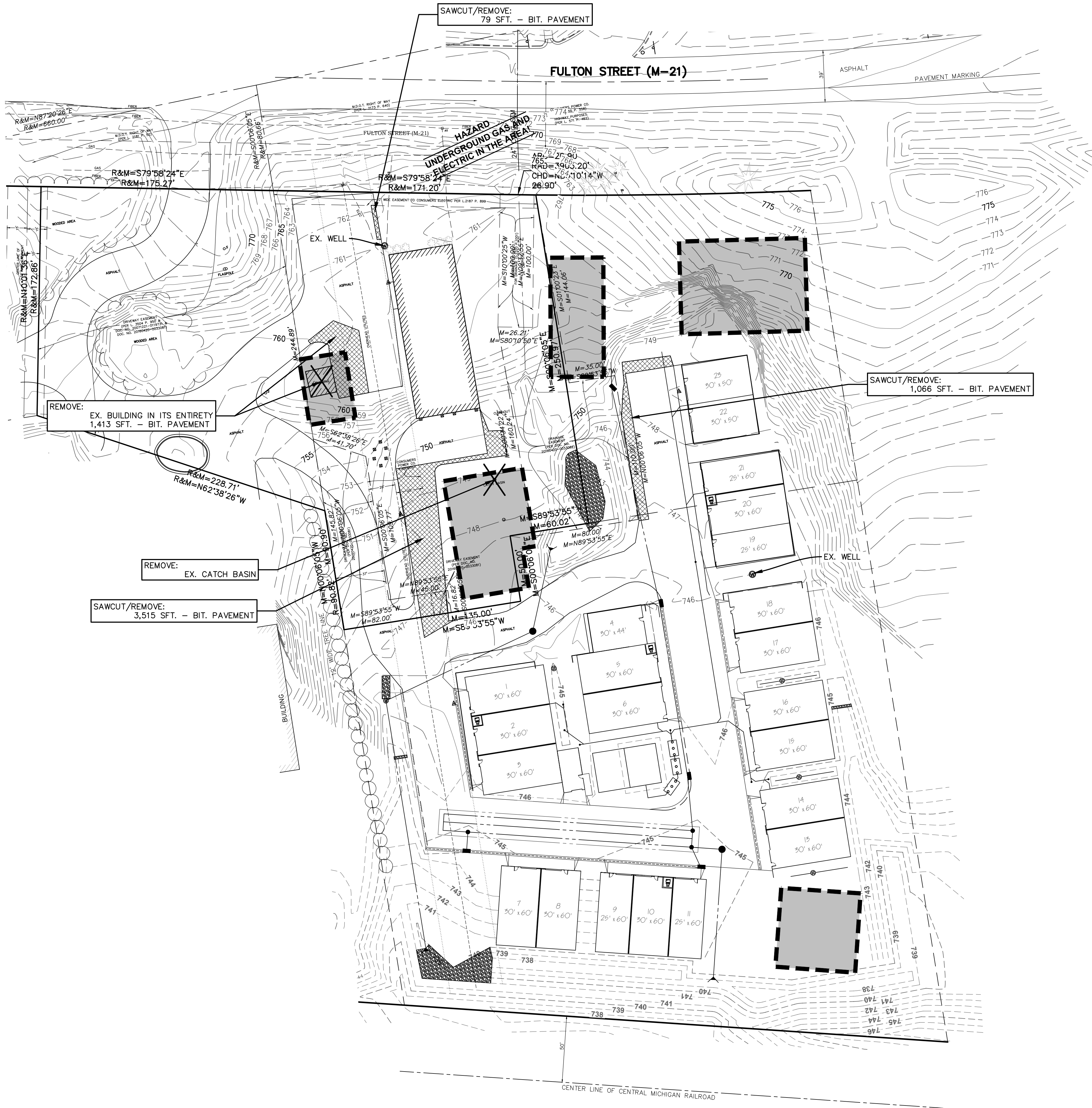
**THE CAVES, LLC
2946 WOODCLIFF CIRCLE
GRAND RAPIDS, MICHIGAN 49506
PHONE: 616-644-7514**

PRELIMINARY - NOT FOR CONSTRUCTION



Plan Prepared By:
Bruce A. Callen, PE
Callen Engineering, Inc.
108 E. Savidge St.
Spring Lake, Michigan 49456
Tel: 616-414-5260
email: bcallen@callenengineering.com
DATE OF PLAN: 02-21-24

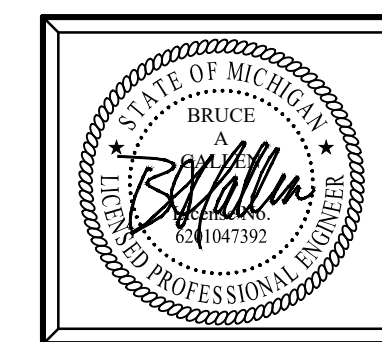
ISSUANCES	
SITE PLAN REVIEW	02-21-24
REVISIONS	
DESIGNED BY:	
callen civil engineers	
Callen Engineering, Inc. 108 East Savidge Street Spring Lake, MI 49456 T.616.414.5260 www.callenengineering.com	
Drawn by Engineer	J.W.C. B.A.C. Check A.J.B.
Callen Engineering Project No.	
023 - REED - THE CAVES PHASE 2	
Sheet No. CS	



REMOVALS LEGEND

- PROPOSED BUILDING FOOTPRINT
- PAVEMENT REMOVAL AREA
- CONCRETE REMOVAL AREA
- REMOVAL ITEM

PRELIMINARY - NOT FOR CONSTRUCTION



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Property Address 1: 4900 Fulton St. SE
Ada Township, Michigan 49301

Property Address 2: 4920 Fulton St. SE
Ada Township, Michigan 49301

Parcel Numbers:
41-15-30-300-019
41-15-30-300-020

Property Description 1:
411530300019 PART OF SWFRL 1/4 COM 660.0 FT N 87D 20M 26S E ALONG E&W 1/4 LINE & 80.66 FT S OD 06M 05S E TO S LINE OF HWY M-21 FROM W 1/4 COR TH S 79D 58M 24S E ALONG SD S LINE 171.20 FT TH ELY 26.90 FT ALONG A 3905.20 FT RAD CURVE TO LT / LONG CHORD BEARS S 80D 10M 14S E 26.90 FT TH S OD 06M 05S E 250.97 FT TH S 89D 53M 55S W 60.02 FT TH S OD 06M 05S E 50.0 FT TH S 89D 53M 55S W 135.0 FT TH N OD 06M 05S W 90.82 FT TH N 62D 38M 26S W 228.71 FT TH N 10D 01M 36S E 172.86 FT TO S LINE OF HWY M-21 TH S 79D 58M 24S E ALONG SD S LINE 175.27 FT TO BEG * SEC 30 T7N R10W 2.27 A. SPLIT ON 07/31/2007 FROM 41-15-30-300-011, 41-15-30-300-015; SPLIT/COMBINED ON 10/13/2016 FROM 41-15-30-300-017;

Property Description 2:
411530300020 PART OF SWFRL 1/4 COM 660.0 FT N 87D 20M 26S E ALONG E&W 1/4 LINE & 416.37 FT S OD 06M 05S E FROM W 1/4 COR TH N 89D 53M 55S E 135.0 FT TH N OD 06M 05S W 50.0 FT TH N 89D 53M 55S E 60.02 FT TH N OD 06M 05S W 250.97 FT TO S LINE OF HWY M-21 TH ELY 207.40 FT ALONG A 3905.20 FT RAD CURVE TO LT / LONG CHORD BEARS S 81D 53M 22S E 207.38 FT TH S OD 06M 05S E 650.97 FT TH N 77D 04M 20S W ALONG N LINE OF CENTRAL MICHIGAN RR RW 410.85 FT TH N OD 06M 05S W 287.0 FT TO BEG * SEC 30 T7N R10W 4.48 A. SPLIT ON 07/31/2007 FROM 41-15-30-300-011, 41-15-30-300-015; SPLIT/COMBINED ON 10/13/2016 FROM 41-15-30-300-017;

Property Owner:
Reed Investment Group, LLC
2946 Woodcliff Circle
Grand Rapids, Michigan 49504

Acreage Property 1: 2.26 Acres (98,446 SFT)

Acreage Property 2: 4.48 Acres (195,148 SFT)

Property 1 Zoning: Industrial

Setbacks:
Front: 50 ft
Side: 50 ft
Rear: 50 ft

Maximum Allowable Building Height: 65 ft

Property 2 Zoning: Industrial / PUD

Setbacks:
Front: 50 ft
Side: 50 ft
Rear: 50 ft

Maximum Allowable Building Height: 65 ft

Callen Engineering, Inc.
108 East Savidge Street
Spring Lake, MI 49456
T. 616.414.5260
www.callenengineering.com

callen
civil engineers

THE CAVES, LLC.
2946 WOODCLIFF CIRCLE
GRAND RAPIDS, MICHIGAN 49506
616-644-7514

NO.	ISSUANCE / REVISION	BY	DATE
1	SITE PLAN REVIEW	B.A.C.	02-21-24

REVISED IN ACCORDANCE WITH CONSTRUCTION RECORDS

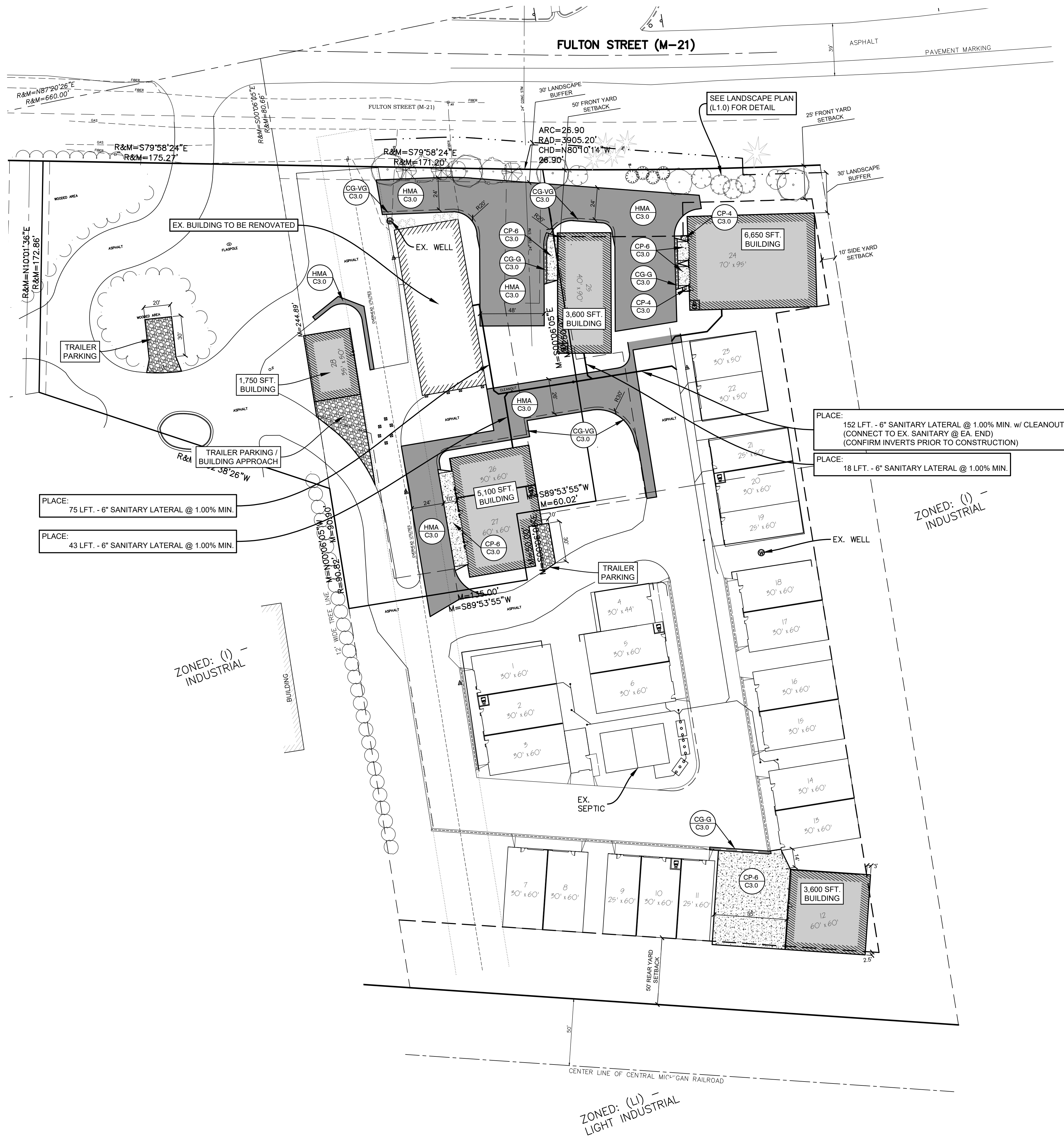
THE CAVES - PHASE 2
4900 FULTON STREET EAST
ADA TOWNSHIP
KENT COUNTY, MICHIGAN
EX. CONDITIONS PLAN

DRAWN BY	DATE
J.W.C.	AUG '23
ENGINEER	DATE
B.A.C.	AUG '23
EDIT	DATE

SCALE
DRAWING PLOT SCALE
AS NOTED 1:1

PROJECT	SHEET NO.
023 REED - THE CAVES PH2	C0.1

DATE OF PLAN: 02-21-24

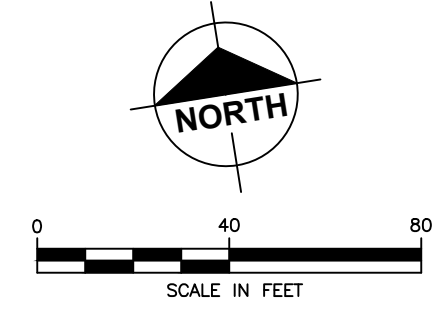


- GENERAL NOTES
- PROJECT INCLUDES CONSTRUCTION OF SEVEN (7) GARAGE UNITS IN FIVE (5) SINGLE-STORY BUILDINGS, PARKING, UTILITIES, WELL AND SEPTIC AND STORM WATER DRAINAGE FACILITIES.
 - THE DEVELOPMENT SHALL BE SERVED BY EXISTING WELL AND SEPTIC FACILITIES.
 - ACCESS TO THE DEVELOPMENT SHALL BE VIA ONE (1) EXISTING DRIVEWAY ONTO FULTON STREET EAST.
 - STORM DRAINAGE SHALL BE DETAINED ON SITE AND RELEASED AT A CONTROLLED, PRE-DEVELOPMENT RATE TO AN EXISTING DRAINAGE COURSE AT THE SOUTH END OF THE PROPERTY.
 - PARKING AND DRIVE AREAS SHALL BE PAVED WITH BITUMINOUS PAVEMENT.
 - PROPOSED SITE LIGHTING SHALL CONSIST OF WALL-MOUNTED FIXTURES, DIRECTED TO INHIBIT LIGHTING BEYOND PROPERTY LIMITS, MEETING THE REQUIREMENTS OF APPLICABLE SECTIONS OF THE ADA TOWNSHIP ZONING ORDINANCE.
 - LANDSCAPING AND SCREENING SHALL MEET THE REQUIREMENTS OF ADA TOWNSHIP ZONING ORDINANCE.

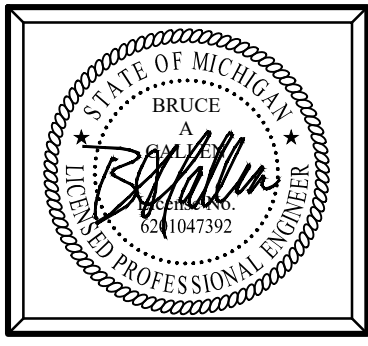
LAND USE TABLE					
TOTAL LAND AREA:	294,026	SFT	6.75	ACRES	
IMPERVIOUS AREA	161,202	SFT	54.8%		
PERVIOUS AREA	132,824	SFT	45.2%		
	IMPERVIOUS AREA			PERVIOUS AREA	
	BUILDINGS	PAVEMENTS	SIDEWALKS	LANDSCAPED AND LAWN AREA	
	65,440	87,045	8,717	132,824	SFT
	22.3	%	29.6	%	45.2

PROPOSED FEATURES LEGEND

- NEW LIGHT DUTY CONCRETE SIDEWALK AREA
- NEW HMA PAVEMENT AREA
- NEW HEAVY DUTY CONCRETE PAVEMENT AREA
- CRUSHED ASPHALT SURFACE AREA



PRELIMINARY - NOT FOR CONSTRUCTION



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DATE OF PLAN: 02-21-24

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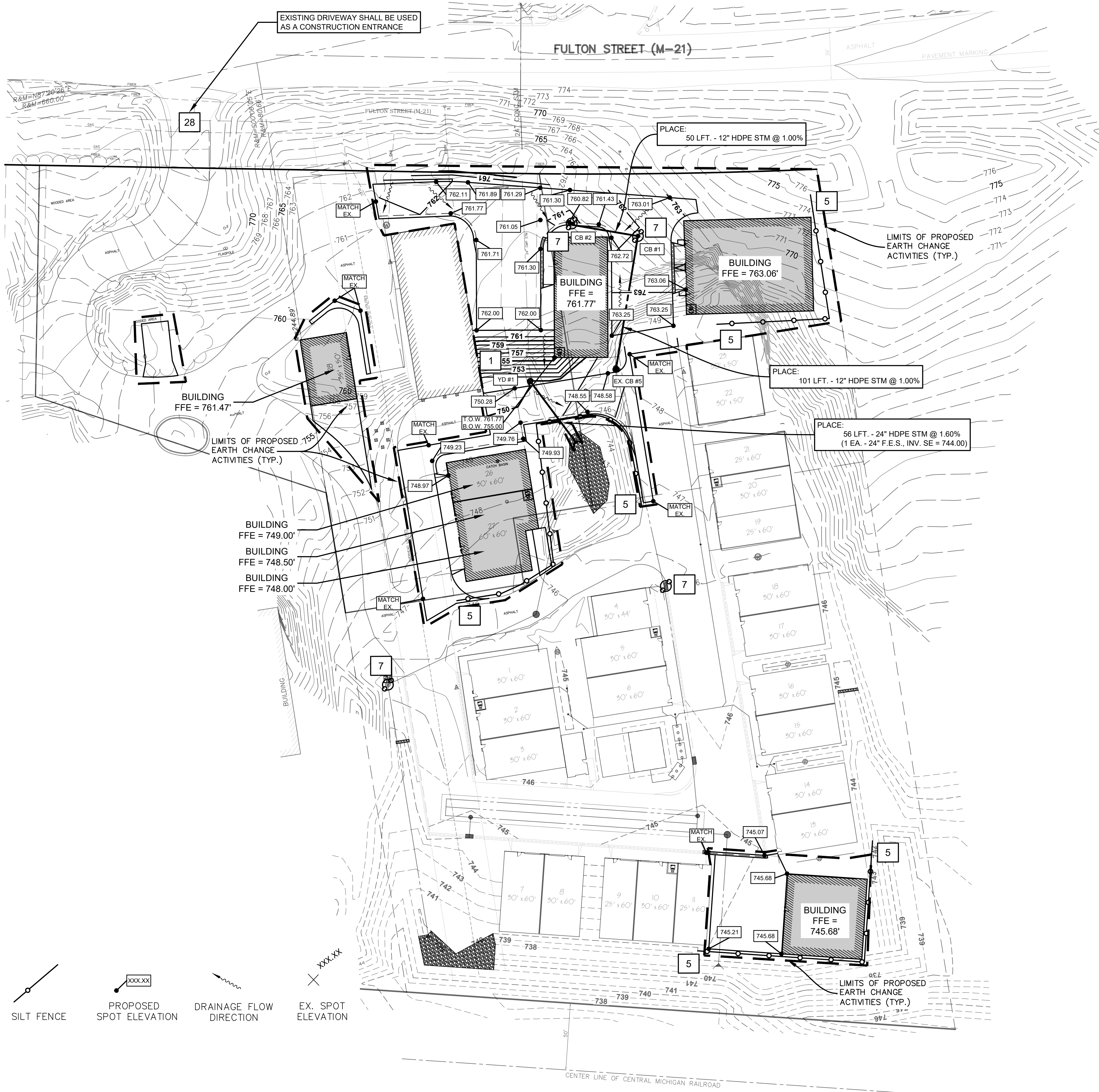


THE CAVES, LLC.
2946 WOODCLIFF CIRCLE
GRAND RAPIDS, MICHIGAN 49506
616-644-7514

NO.	ISSUANCE / REVISION	BY	DATE
1.	SITE PLAN REVIEW	B.A.C.	02-21-24
2.	TRAILER PARKING	B.A.C.	02-06-24
	REVISIONS IN ACCORDANCE WITH CONSTRUCTION RECORDS		

THE CAVES - PHASE 2
4900 FULTON STREET EAST
ADA TOWNSHIP
KENT COUNTY, MICHIGAN
SITE PLAN

DRAWN BY	DATE
J.W.C.	AUG '23
ENGINEER	DATE
B.A.C.	AUG '23
EDIT	DATE
SCALE	
DRAWING	PLOT SCALE
AS NOTED	1:1
PROJECT	023 REED - THE CAVES PH2
SHEET NO.	C1.0



EROSION CONTROL MEASURES			
KEY	SESC MEASURE	SYMBOL	WHERE USED
1	Seeding		When bare soil is exposed, temporarily or permanently, to erosive forces from wind and/or water on flat areas, mild slopes, grassed waterways and spillways, diversion ditches and dikes, borrow and stockpile areas, and spoil piles.
2	Mulch		On flat areas, slopes, grassed waterways and spillways, diversion ditches and dikes, borrow and stockpile areas, and spoil piles when areas are subject to raindrop impact, and erosive forces from wind or water.
4	Trees, Shrubs, Vines and Ground Cover		When bare soil or recently vegetated slopes are exposed to erosive forces from wind and/or water.
5	Perimeter Sediment Control Measures (Silt Fence, Straw Wattles, etc.)		As a temporary measure used to capture sediment from sheet flow. May also divert small volumes of sheet flow to protected outlets.
7	Storm Drain Inlet Protection		Around the entrance to a catch basin or an inlet that will capture runoff from an earth change activity.
28	Stone Construction Access		At locations where construction equipment will enter and exit the drain easement and tracking of soil is anticipated.

*SESC MEASURES SHALL COMPLY WITH MICHIGAN ASSOCIATION OF COUNTY DRAIN COMMISSIONERS SESC MANUAL SPECIFICATIONS

STORM STRUCTURE NOTES

STORM SEWER LENGTHS PROVIDED ARE MEASURED FROM CENTER OF STRUCTURE. RIM ELEVATIONS ARE MEASURED AT EDGE OF METAL.

STORM SEWER SHALL BE WATER-TIGHT, SOLID-WALL HDPE OR APPROVED EQUAL, UNLESS INDICATED ON THE PLANS.

MANHOLES AND CATCH BASINS SHALL BE IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS. CATCH BASINS SHALL INCLUDE 2-FT SUMP.

CONNECTIONS TO MANHOLES SHALL BE MADE WITH A RESILIENT CONNECTOR FOR PIPE DIAMETERS 24 INCHES OR LESS.

MANHOLE RIM ELEVATIONS SHALL BE SET 1/4" BELOW PLAN GRADE.
CATCH BASIN RIM ELEVATIONS SHALL BE SET 1 3/8" BELOW PLAN GRADE.

ALL CURB DIMENSIONS ARE MEASURED FROM EDGE OF METAL.

THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND DEPTH OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONFLICTS IN GRADES SHALL BE REPORTED TO ENGINEER AND ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO OWNER.

SESC NOTES

TOTAL DISTURBED AREA: 77,357 SFT (1.78 ACRES)

ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN ON THE SITE PLAN MAY BE NECESSARY AS SITE WORK PROGRESSES. PERMITTEE IS RESPONSIBLE FOR ALL MEASURES NECESSARY TO PREVENT OFFSITE SEDIMENTATION.

GEOTEXTILE SILT FENCE AND ALL CATCH BASIN PROTECTION MEASURES SHALL BE PROPERLY PLACED AS SHOWN ON PLANS AND AS NEEDED TO RETAIN SOILS ONSITE. PERIODIC MAINTENANCE AND INSPECTION OF SESC MEASURES IS REQUIRED FOR PROPER EFFECTIVENESS.

STABILIZE SITE AS SOON AS POSSIBLE.

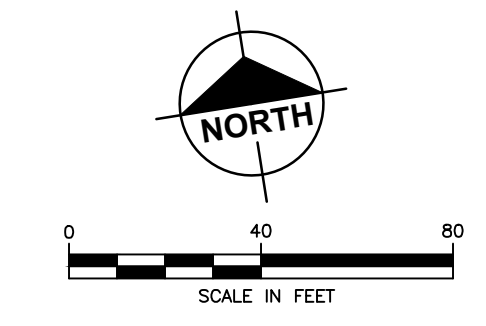
STORM STRUCTURE SCHEDULE (THIS SHEET)

CB#1 (4' DIA) RIM = 760.82 FT
(COVER: EJIW 1045 W/ M1 GRATE OR A.E.)
12" INV. (NW) = 756.82 FT (SOLID WALL HDPE @ 1.00%)
12" INV. (SW) = 744.61 FT (SOLID WALL HDPE @ 1.00%)

CB#2 (2' DIA) RIM = 760.82 FT
(COVER: EJIW MDOT R-15 W/ TYPE K COVER OR A.E.)
12" INV. (SE) = 757.32 FT (SOLID WALL HDPE @ 1.00%)

EX. CB#5
REPLACE CASTING W/ EJIW 1045 W/ SOLID COVER OR A.E.
12" INV. (NE) = 743.80 FT (SOLID WALL HDPE @ 1.00%)
EX. 15" INV. (S) = 743.50 FT
(CONFIRM INVERTS PRIOR TO CONSTRUCTION)

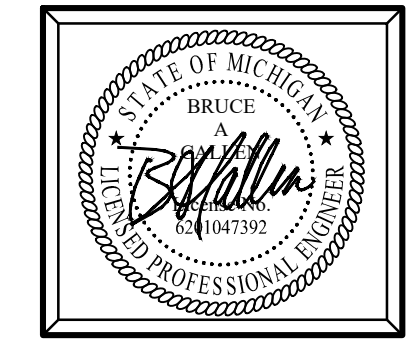
YD#1 (4' DIA) RIM = 749.80 FT
(EJIW 1045Z W/ O2 GRATE (BEEHIVE) OR A.E.)
24" INV. (SE) = 744.90 FT (SOLID WALL HDPE @ 1.60%)



PRELIMINARY - NOT FOR CONSTRUCTION

SUBSURFACE CONDITIONS

Contractor(s) shall familiarize themselves with the information and findings presented in the Geotechnical Evaluation Report prepared by Soils & Structures dated Jun. 29, 2016.
Soils & Structures Project No. 2016.0604



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callen
civil engineers

THE CAVES, LLC.
2946 WOODCLIFF CIRCLE
GRAND RAPIDS, MICHIGAN 49506
616-644-7514

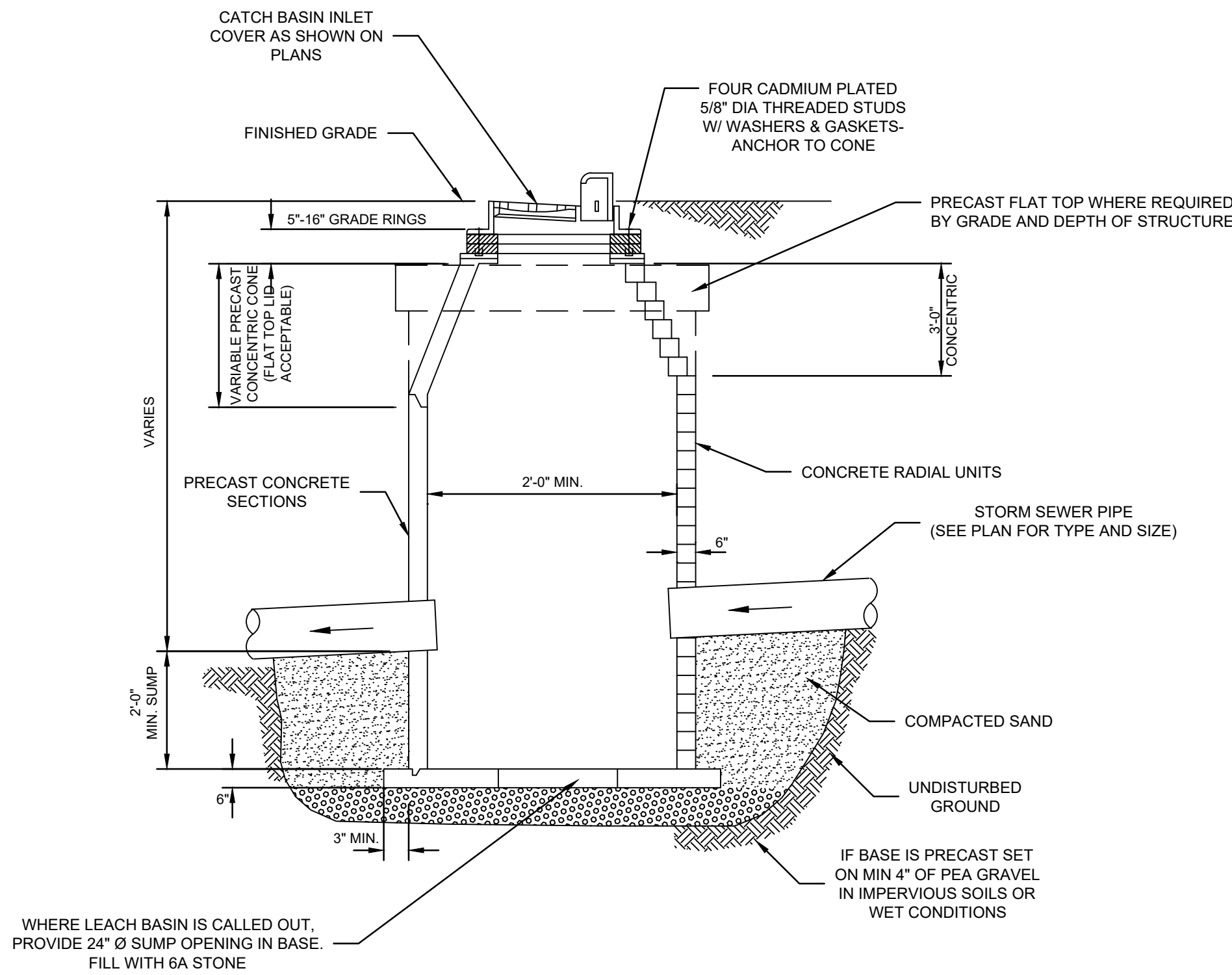
NO.	ISSUANCE / REVISION	BY	DATE
1	SITE PLAN REVIEW	B.A.C.	02-21-24
2	TRAILER PARKING	B.A.C.	02-06-24

THE CAVES - PHASE 2
4900 FULTON STREET EAST
ADA TOWNSHIP
KENT COUNTY, MICHIGAN
GRADING, DRAINAGE AND SESC PLAN

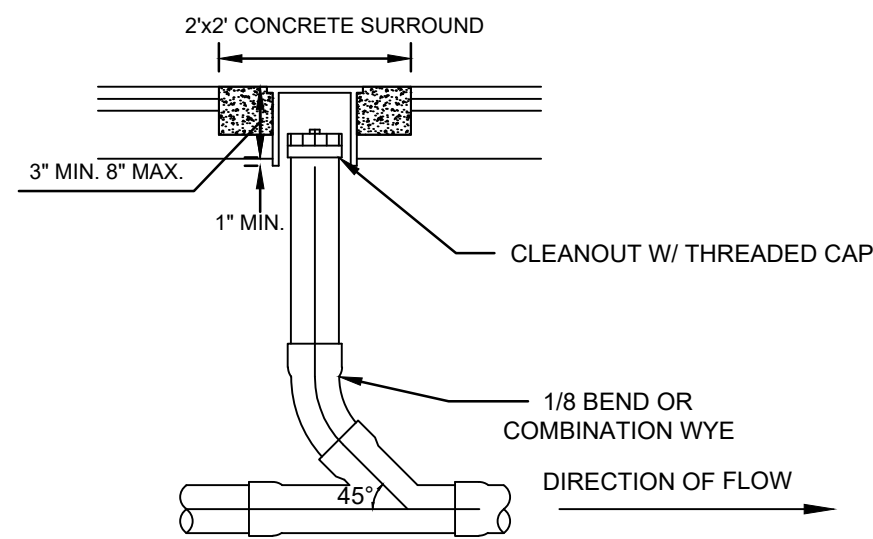
DRAWN BY	DATE
J.W.C.	AUG '23
ENGINEER	DATE
B.A.C.	AUG '23
EDIT	DATE

SCALE	
DRAWING	PLOT SCALE
AS NOTED	1:1

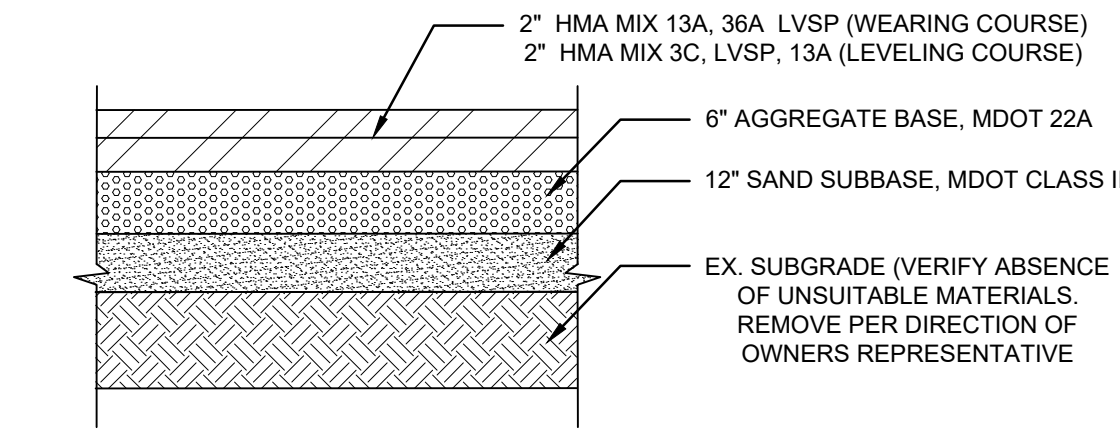
PROJECT	023 REED - THE CAVES PH2
SHEET NO.	C2.0



CATCH BASIN DETAIL
NO SCALE

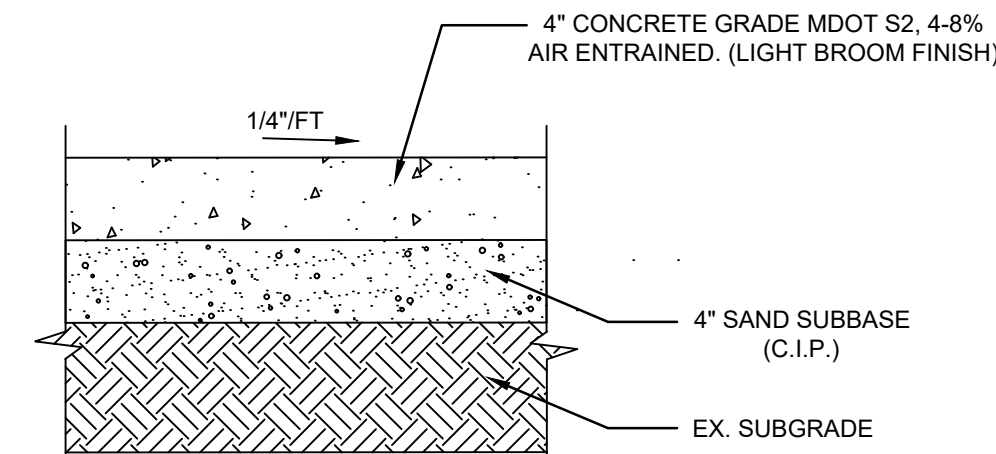


SANITARY LATERAL CLEAN-OUT
NO SCALE



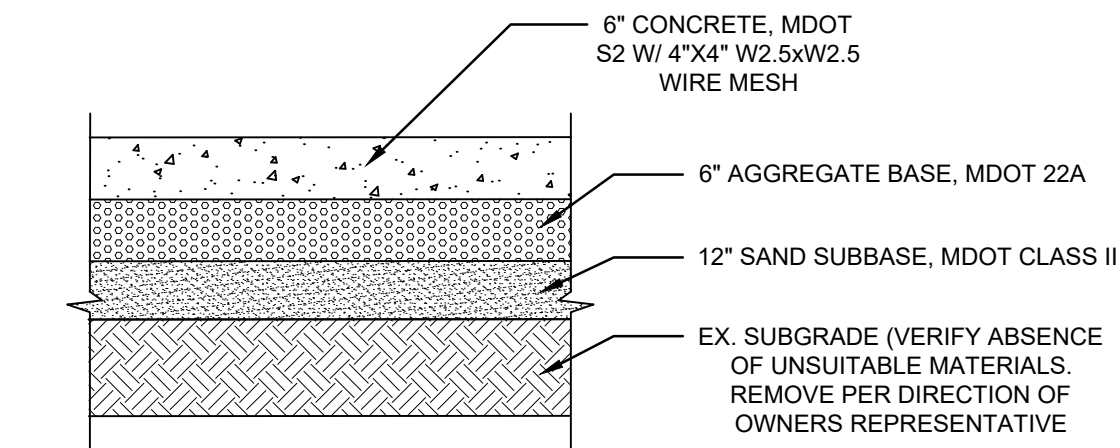
NOTE: CONTRACTOR(S) SHALL FAMILIARIZE THEMSELVES WITH THE INFORMATION AND FINDINGS PRESENTED IN THE GEOTECHNICAL EVALUATION REPORT PREPARED BY _____ DATED _____ PROJECT NO. _____

HMA PAVEMENT SECTION **HMA**
NO SCALE



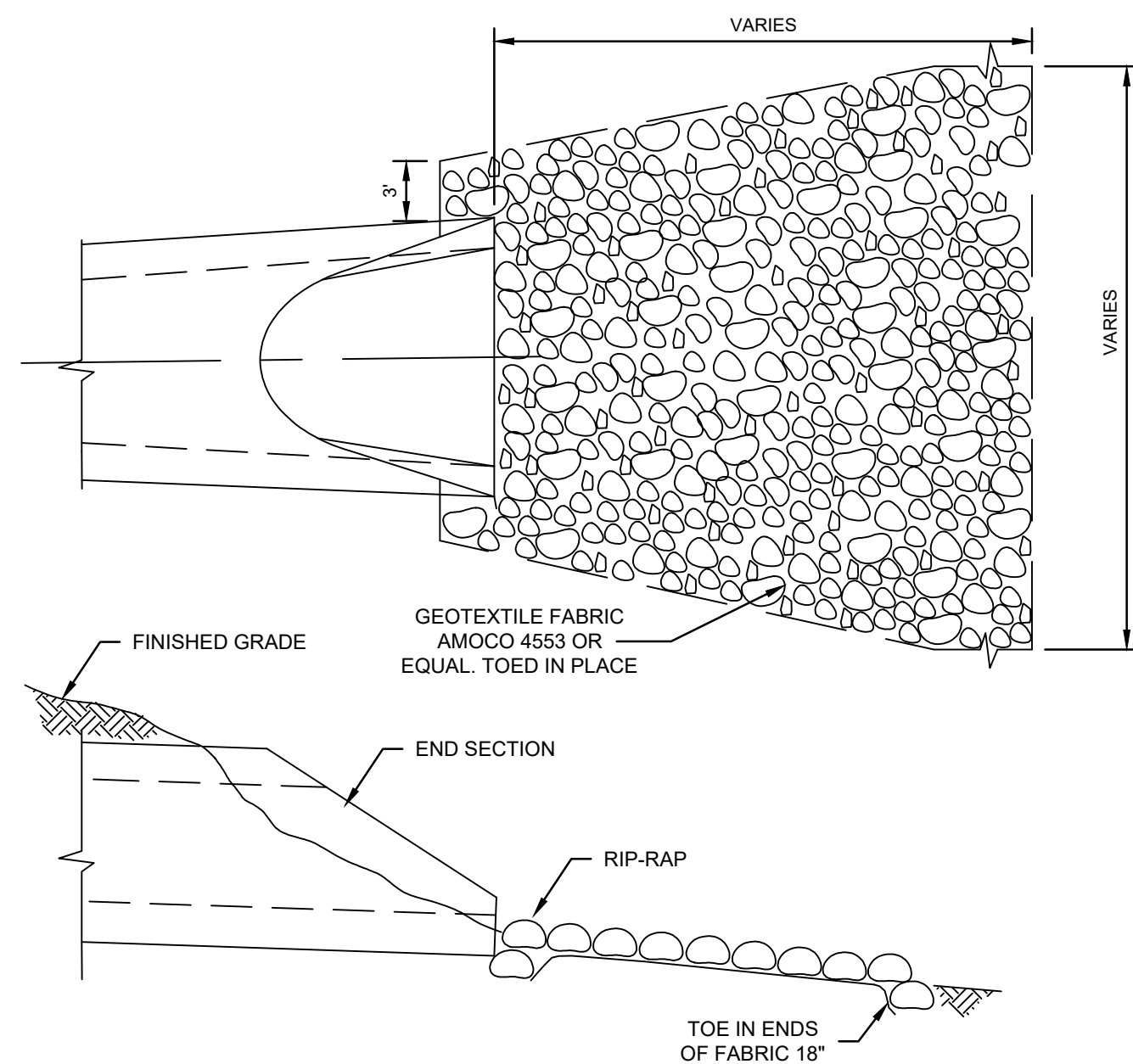
NOTE: 1) PROVIDE CONTROL JOINTS AT 5' O/C

CONCRETE SIDEWALK SECTION **CP-4**
NO SCALE

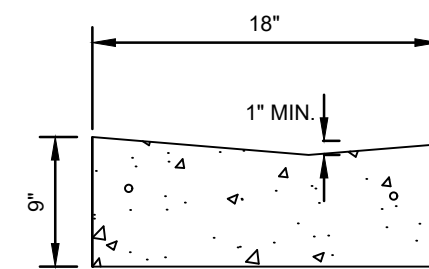


NOTE: CONTRACTOR(S) SHALL FAMILIARIZE THEMSELVES WITH THE INFORMATION AND FINDINGS PRESENTED IN THE GEOTECHNICAL EVALUATION REPORT PREPARED BY _____ DATED _____ PROJECT NO. _____

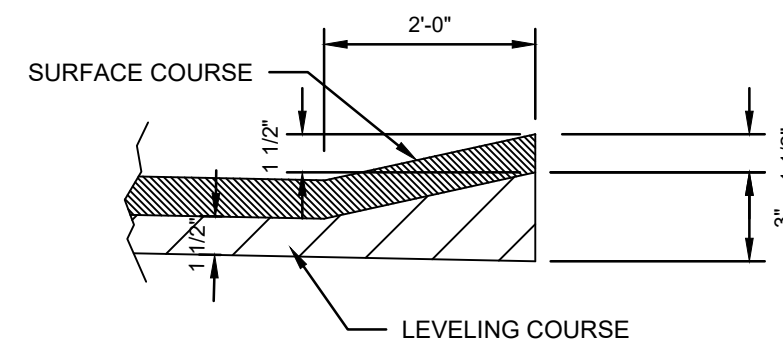
6\"/>



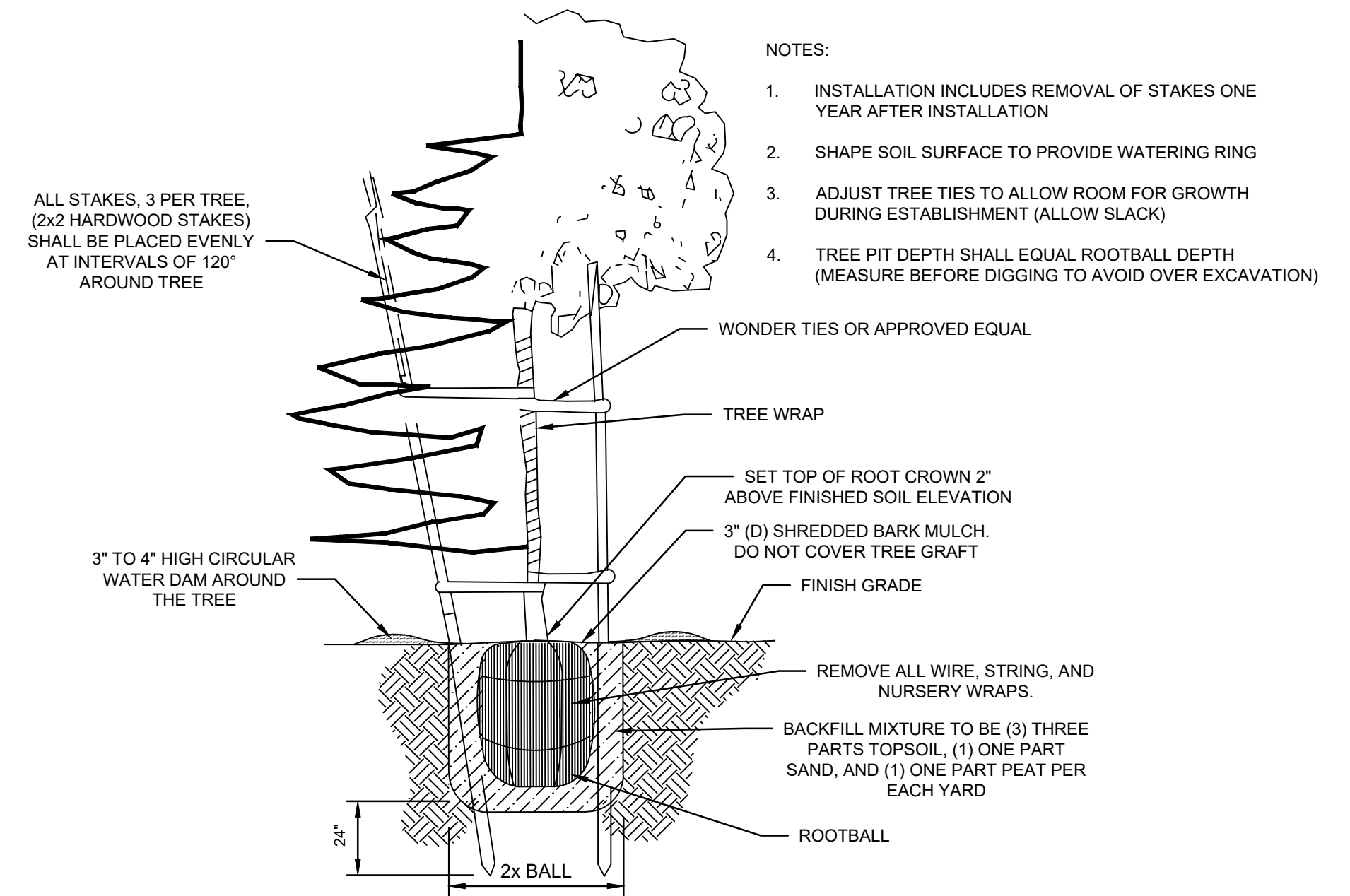
FLARED END SECTION DETAIL
NO SCALE



GUTTER DETAIL **CG-G**
NO SCALE

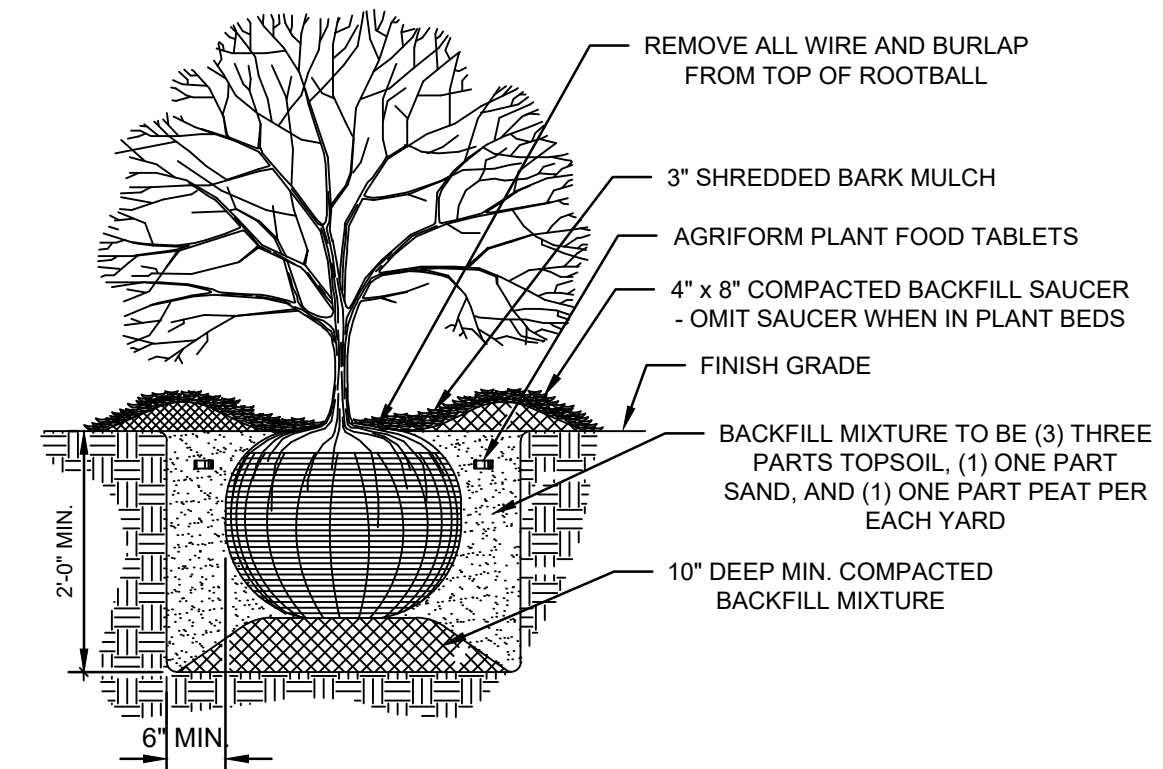


VALLEY GUTTER, HMA DETAIL **CG-VG**
NO SCALE



21 GRAM "AGRIFORM" PLANTING TABLETS AS FOLLOWS:
2 TABLETS PER 1 GAL. PLANT
3 TABLETS PER 5 GAL. PLANT
4 TABLETS PER 15 GAL. PLANT
LARGER PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER

TYPICAL - TREE STAKING
NO SCALE

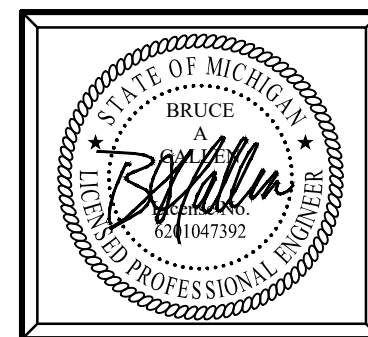


SHRUB INSTALLATION
NO SCALE

PRELIMINARY - NOT FOR CONSTRUCTION



Know what's below.
Call before you dig.



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Callen Engineering, Inc.
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Spring Lake, Michigan 49456
Tel: 616-414-5260
email: bcallen@callenengineering.com

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DATE OF PLAN: 02-21-24

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Spring Lake, MI 49456
T: 616-414-5260
www.callenengineering.com



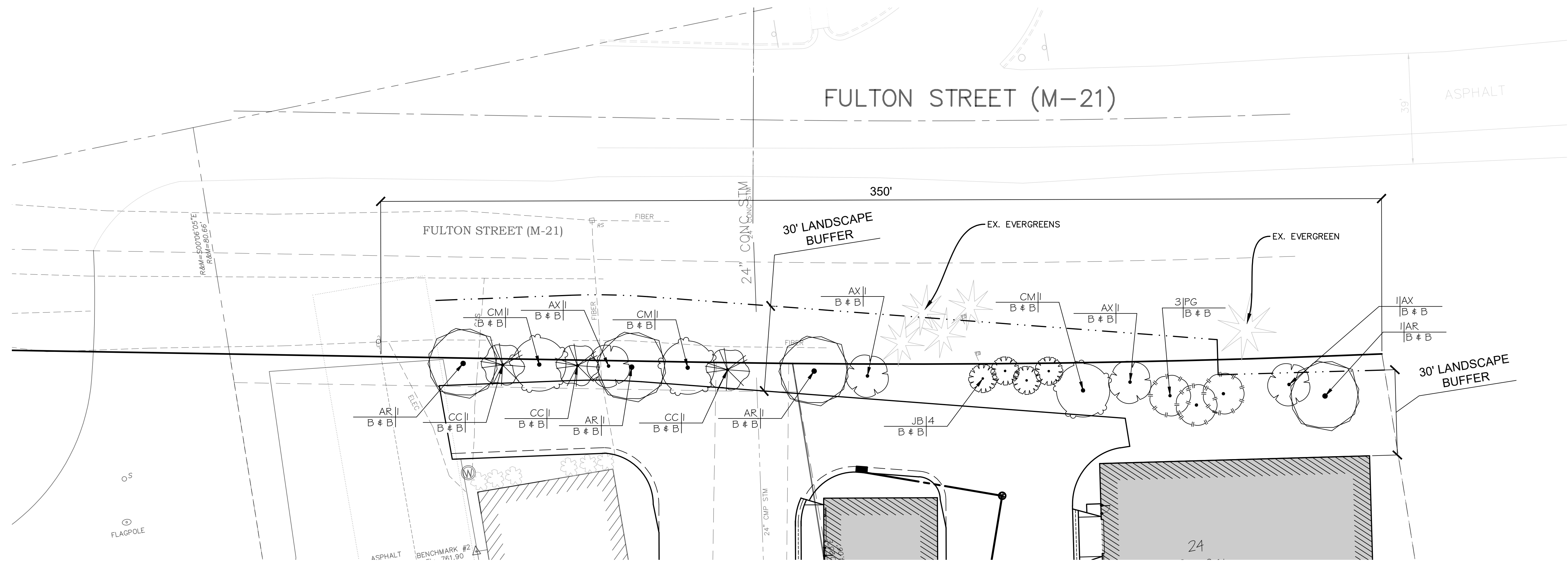
THE CAVES, LLC.
2946 WOODCLIFF CIRCLE
GRAND RAPIDS, MICHIGAN 49506
616-644-7514

NO.	ISSUANCE / REVISION	BY	DATE
1	SITE PLAN REVIEW	B.A.C.	02-21-24

THE CAVES - PHASE 2
4900 FULTON STREET EAST
ADA TOWNSHIP
KENT COUNTY, MICHIGAN
X-SECTIONS, NOTES AND DETAILS

DRAWN BY J.W.C.	DATE AUG '23
ENGINEER B.A.C.	DATE AUG '23
EDIT	DATE
SCALE DRAWING AS NOTED	PILOT SCALE 1:1
PROJECT 023 REED - THE CAVES PH2	
SHEET NO.	

C3.0



PLANT SCHEDULE						
TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	AR	Acer rubrum 'Columnare' / Columnare Red Maple	B & B	2.5"Cal		4
	AX	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	B & B	2"Cal		4
	CM	Celtis occidentalis 'Magnifica' / Magnifica Hackberry	B & B	2.5"Cal		3
	CC	Cercis canadensis / Eastern Redbud	B & B	2"Cal		3
	JB	Juniperus chinensis 'Blue Point' / Blue Point Juniper	B & B	2"Cal		4
	PG	Picea glauca 'Densata' / Black Hills Spruce	B & B		Min 7' Ht	3

LANDSCAPE NOTES

- ALL PLANTING BEDS SHALL RECEIVE 4" OF EVENLY SPREAD SHREDDED HARDWOOD BARK MULCH OVER 4" OF TOPSOIL. MULCH BLANKET SHALL BE PLACED AT ALL LOCATIONS WITH SLOPES 1:3 OR STEEPER. NO MULCH SHALL BE PLACED IN DETENTION / RETENTION BASIN BOTTOM AREA.
- CONTRACTOR SHALL NOTIFY "MISS DIG" TO LOCATE ANY UNDERGROUND UTILITY LINES OR STRUCTURES PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUNDCOVERS AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI 280.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE CERTIFIED TO BE HARDY TO KENT COUNTY, FREE OF DISEASE AND INSECTS AND BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY, NEAT AND ORDERLY STATE, FREE FROM REFUSE AND DEBRIS. ANY DEAD OR DISEASED PLANTS SHALL BE REPLACED.
- ALL LANDSCAPE BEDS AND MULCH BORDERS ADJACENT TO LAWN AREAS SHALL HAVE A METAL EDGE UNLESS SPECIFIED OTHERWISE.
- SEED SHALL BE PLACED OVER 4" OF TOPSOIL IN ALL PROPOSED LAWN AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION WITH SLOPES LESS THAN 1:3.
SEED MIXES SHALL BE AS FOLLOWS:

10% TALL FESCUE
20% PERENNIAL RYE GRASS
30% CREEPING RED FESCUE
40% KENTUCKY BLUEGRASS
@ 6 LBS PER 1000 SFT

SEED MIXES SHALL BE DROUGHT TOLERANT @ 6 LBS PER 1,000 SFT.
- ALL PLANTINGS AND LANDSCAPE IMPROVEMENTS SHALL BE CONSISTENT WITH LOCAL ZONING REQUIREMENTS.

LANDSCAPE DATA

GREENBELT LANDSCAPE

CANOPY TREES

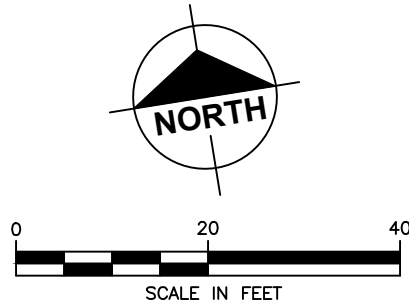
TOTAL FRONTAGE: 350 LFT.
TREES REQ. (2 TREES / 100 LFT. FRONTAGE): = 7 TREES
TREES PROVIDED: 7 TREES

UNDERSTORY TREES

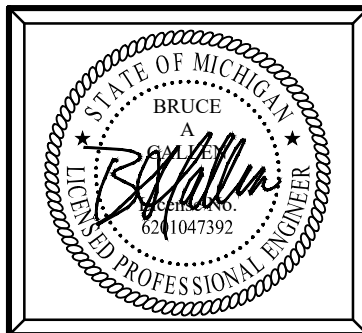
TOTAL FRONTAGE: 350 LFT.
TREES REQ. (2 TREES / 100 LFT. FRONTAGE): = 7 TREES
TREES PROVIDED: 7 TREES

EVERGREEN TREES

TOTAL FRONTAGE: 350 LFT.
TREES REQ. (2 TREES / 100 LFT. FRONTAGE): = 7 TREES
TREES PROVIDED: 7 TREES



PRELIMINARY - NOT FOR CONSTRUCTION



Plan Prepared By:
Bruce A. Callen, PE
Callen Engineering, Inc.
108 E. Savidge St.
Spring Lake, Michigan 49456
Tel: 616-414-5260
email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

DATE OF PLAN: 02-21-24

Callen Engineering, Inc.
108 East Savidge Street
Spring Lake, MI 49456
T. 616.414.5260
www.callenengineering.com

callen
civil engineers

THE CAVES, LLC.
2946 WOODCLIFF CIRCLE
GRAND RAPIDS, MICHIGAN 49506
616-644-7514

NO.	ISSUANCE / REVISION	BY	DATE
1	SITE PLAN REVIEW	B.A.C.	02-21-24

THE CAVES - PHASE 2
4900 FULTON STREET EAST
ADA TOWNSHIP
KENT COUNTY, MICHIGAN
LANDSCAPE PLAN

DRAWN BY	DATE
J.W.C.	AUG '23
ENGINEER	DATE
B.A.C.	AUG '23
EDIT	DATE
SCALE	PLOT SCALE
DRAWING	AS NOTED
PROJECT	023 REED - THE CAVES PH2
SHEET NO.	L1.0



MEMORANDUM

Date: 03.08.24

TO: Ada Township Planning Commission
FROM: Department of Planning
RE: **March 21, 2024 – Special Use Request – Vehicle Fleet Storage – 200 Alta Dale (200 Alta Dale Holdings LLC) – Parcel No. 41-15-29-327-006**

Request Overview

The applicant proposes to expand and convert the existing building on the subject property for vehicle fleet storage, staging, and cleaning, along with related private office uses. The building expansion includes new interior parking/garage space to the south (side) and an office area to the west (front). The proposal also includes a new access driveway and parking area.

The existing building contains about 6,439 square feet; the proposed office addition contains about 2,150 square feet, and the proposed interior parking area will contain 10,100 square feet. This results in a total building area of about 18,690 square feet on the +/- 4.5 acre subject site. The proposed building additions material (split block concrete masonry) and colors will match the exterior of the existing building.

A car wash will be installed in the rear of the building, and interior parking will be provided for 20 vehicles. New parking will be provided in front for 21 vehicles; two new shade trees will be planted in the parking lot area to address Zoning Ordinance requirements. The new driveway will be laid out similar to the existing driveway, with access along the south side of the building, and to the rear (east side) of the building.

The applicant's plans include minor grade changes to the site to accommodate the new building and parking areas. New stormwater improvements will also be provided. The Township Engineer has indicated no concerns with this proposal. New exterior lighting to be installed will be downward-facing so as to minimize glare.

Analysis

The existing and proposed site meets all zoning requirements as to lot area, building placement, and building height. The building is set back more than 400 feet from the front property line, and 70 feet from the rear lot line. Side setbacks are 50' from the south side lot line, and about 160 feet from the north lot line. The north portion of the site, and a small portion of the east edge of the site, include wetlands which will remain undisturbed.

Surrounding properties to north, east, and south are zoned I Industrial, while the area to the west, across Alta Dale, is zoned R-2 Single-Family Residential. Uses to the north and south are industrial in nature. There is an existing residential home (legal nonconforming) to the east, and open space (Carl Creek Wetland Area; owned by the Township) to the west, across Alta Dale. Staff believes that the large area of existing trees along the east edge of the site eliminates the need for any additional landscaping.

Parking requirements for the site have been met, as Staff considers the interior parking to be provided part of the overall parking supply for this site. The applicant noted that approximately 15-20 employees would be present at the site during typical workdays, and that the site will be

staffed on a 24/7/365 basis for security as well.

Standards for Special Use

Sec. 78-382 of the Zoning Ordinance allows vehicle fleet storage, maintenance and fueling facilities as special uses in the Industrial (I) District. The proposal consists of vehicle storage and maintenance and does not include fueling. The Special Use standards (Sec. 78-493 of the Zoning Ordinance) apply for review of this proposal; these are noted below along with Staff responses:

(1) The special use shall be designed, constructed, operated, and maintained in a manner harmonious with the character of adjacent property and the surrounding area.

This expansion will have minimal physical impact, no impact on neighborhood character is anticipated as this is an industrially-used and -zoned area.

(2) The special use shall not change the essential character of the surrounding area.

By the industrial character of the area, the proposed office and vehicle storage uses will be relatively low-key in nature.

(3) The special use shall not be hazardous to adjacent property, or involve uses, activities, materials or equipment which will be detrimental to the health, safety or welfare of persons or property through the excessive production of traffic, noise, smoke, fumes, or glare.

As noted in the Staff report, this expansion is not expected to result in a significant increase in traffic nor notable offsite effects.

(4) The special use shall not place demands on public services and facilities in excess of capacity.

The proposed use is expected to have minimal impact on public services and facilities.

Conclusion & Recommendation

Staff has no objections to the approval of this request, subject to the following conditions of approval:

- 1) There shall be no exterior storage of vehicles, trucks, or equipment. Any exterior parking areas shall be for short-term (daily) parking only.
- 2) All exterior lighting shall consist of horizontal cutoff fixtures to minimize glare.
- 3) Prior to the issuance of any occupancy permit, the applicant shall install a Knox Box (key box for emergency access) in a location to be approved by the Fire Department.



RECEIVED
FEB 22 2024
PLANNING & ZONING
ADA TOWNSHIP

APPLICATION FOR APPROVAL OF SPECIAL USE

An application for a special use must be heard before the Ada Township Planning Commission.

Regular meetings of the Planning Commission are held on the third Thursday of each month at 5:30 p.m. at Ada Township Hall. After receipt of the application and payment of the fee, your request will be placed on the next Planning Commission meeting agenda for the purpose of scheduling a public hearing. The hearing will be scheduled for the next month's Planning Commission meeting for consideration, with all legal notifications being met.

A non-refundable filing fee made payable to Ada Township must accompany this application:

For a residential accessory building or Type 2 home occupation permit: \$200.00

For all other special use applications: \$300.00

Please note that a \$1,000 escrow deposit may be required, at the discretion of Township officials and staff.

Applicant Information:

Name: 200 Alta Dale Holdings LLC

Address: 200 Monroe Avenue NW, Grand Rapids, MI 49503

Phone Number: 616-643-4766

Email: jonl@rdvcorp.com

Property Owner Name and Address (if different than above): _____

Property Information:

Property Address: 200 Alta Dale Ave SE, Ada, MI 49301

Parcel Number: 41- 1 5 - 2 9 - 3 2 7 - 0 0 5

Zone District Classification: Industrial

Proposed Use and/or Changes to the Property: See attached Exhibit A.

In support of this application, the following items are required:

- _____ (a) A complete to-scale site plan that complies with Sec. 78-492 (2)(b) and Sec. 78-524 of the Zoning Ordinance.
- _____ (b) A written statement addressing the extent to which the proposed use complies with the standards set forth in Sec. 78-493 of the Zoning Ordinance.

I (we), the undersigned, do hereby make application to the Ada Township Planning Commission for a Special Land Use and also hereby grant permission to Ada Township and its officials and staff to enter upon the subject property for purposes of review and evaluation of this request.

Applicant's Signature(s): Jeffrey S. Bowerman Date: 2/20/24
Jeffrey S. Bowerman, EVP of Tax of RDV Corporation, its Manager

Signature of Property Owner(s): _____ Date: _____
(If different than above)

TO BE COMPLETED BY ADA TOWNSHIP

Application Received: <u>2-22-2024</u>	Initial: <u>eb</u>	<u>Warner, Norcross & Judd (Both)</u>	
mm / dd / yy			
App. Fee of \$ <u>300⁰⁰</u>	Received: <u>2/26/24</u>	Initial: <u>EB</u>	Check # <u>607824</u> Receipt # <u>364796</u>
	mm / dd / yy		
Escrow Deposit of \$ <u>1000⁰⁰</u>	Received: <u>2/26/24</u>	Initial: <u>EB</u>	Check # <u>607825</u> <u>364797</u>
	mm / dd / yy		

Updated 03/25/22

EXHIBIT A

Description of Proposed Special Use

Applicant requests approval of a special use for the subject property to expand and convert the current building located on the subject property to vehicle fleet storage, staging and cleaning of vehicles, and related family office uses. A new garage would be constructed, and the existing building situated on the subject property would be modified to accommodate such intended use as set forth on the attached Site Plan ("Site Plan").

SEC. 78-493. - BASIS OF DETERMINATION (SPECIAL USE).

Prior to approval of a special use, the planning commission shall review the particular circumstances of the special use under consideration and shall approve a special use only upon a finding of compliance with each of the following standards, as well as applicable standards established elsewhere in this chapter:

- (1) The special use shall be designed, constructed, operated and maintained in a manner harmonious with the character of adjacent property and the surrounding area.

The planned site modifications and expanded use of the subject property are consistent with adjacent uses and zoning of land. The Ada Township Industrial District permits manufacturing and other industrial uses, construction contractors' and trades facilities, and professional and administrative offices. Notably, the Industrial District is designed to discourage retail uses and other uses resulting in high traffic generation and extensive signing. The use of subject property for vehicle fleet storage, staging and cleaning of vehicles, and related family office uses will not generate high traffic nor require signage. Furthermore, the subject property is situated between other properties that are currently engaged in a mixture of commercial and industrial uses, including, without limitation, Waltz-Holst Blow Pipe Co Inc. and Baker Publishing Group. The planned use of the subject property will have a lesser industrial presence and impact on the surrounding area than the neighboring properties and thus will fit in well with, and will be consistent with, adjacent uses.

- (2) The special use shall not change the essential character of the surrounding area.

See response to (1) above.

- (3) The special use shall not be hazardous to adjacent property, or involve uses, activities, materials or equipment which will be detrimental to the health, safety or welfare of persons or property through the excessive production of traffic, noise, smoke, fumes or glare.

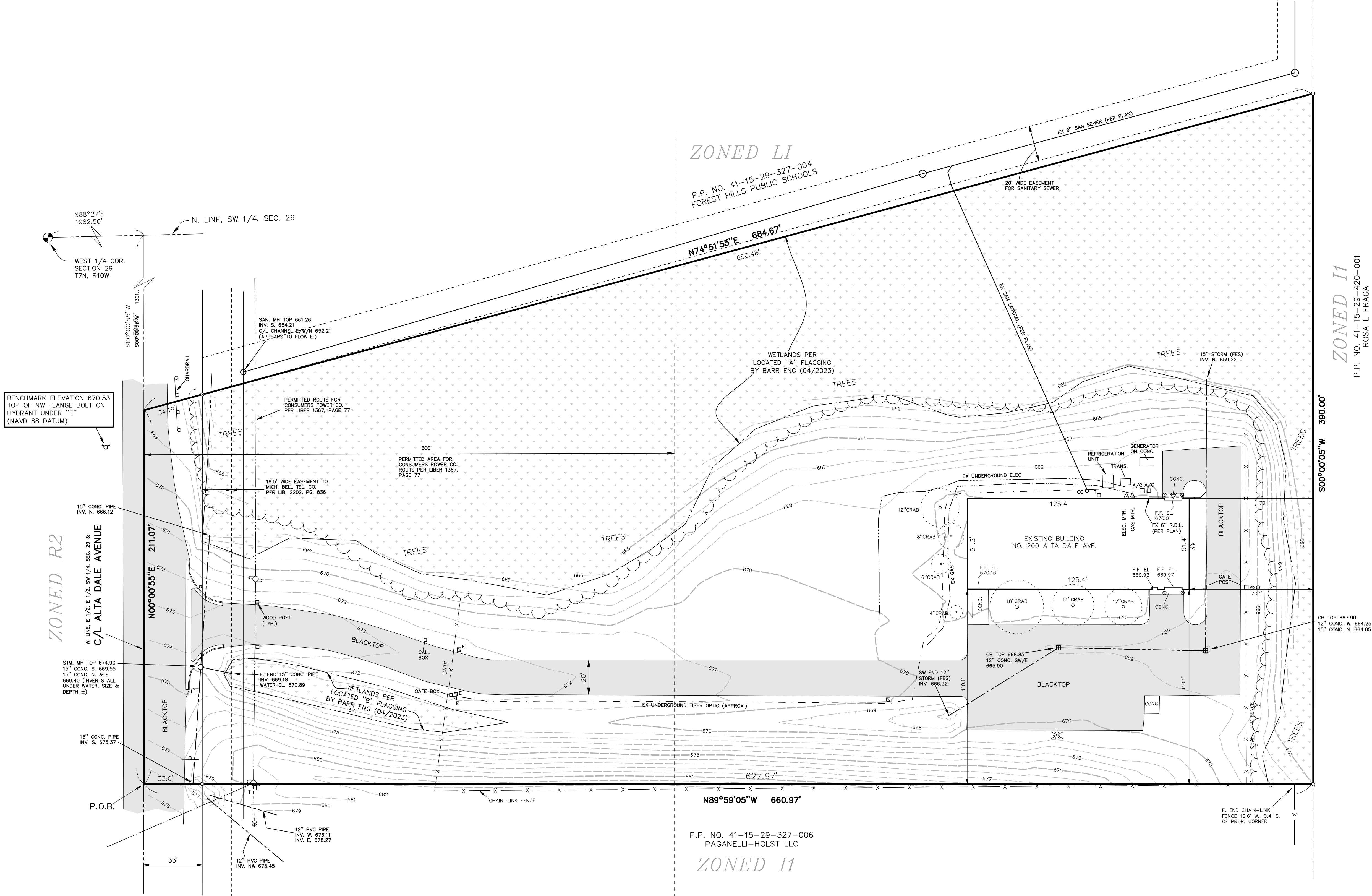
The planned building modifications and expanded use will not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.

The special use shall not place demands on public services and facilities in excess of capacity.

The planned modifications and expanded use will not create excessive additional requirements at public cost for public facilities and services. The subject property will be staffed with roughly 10-12 employees at any given time. The proposed garage will contain parking spaces for approximately 20 vehicles. Vehicles stored at the subject property will be kept in the garage and driven off the subject property on an as-needed basis. Applicant estimates that this would involve only a few vehicles per day. Thus, Applicant does not believe that the proposed use of the subject property would materially increase traffic along Alta Dale Avenue. In addition, Applicant does not intend to store heavy machinery or large vehicles at the subject property that would pose a significant structural strain to Alta Dale Avenue. Furthermore, the planned use of the subject property will not require substantial increases in the use of public utilities, such as water, sanitary sewer, or electric since the planned use will not significantly differ from historical uses of the subject property.

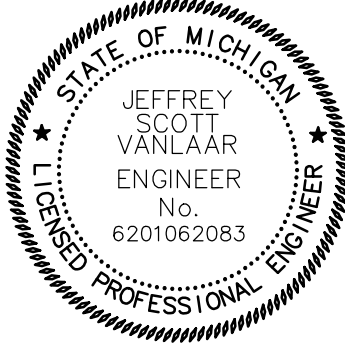
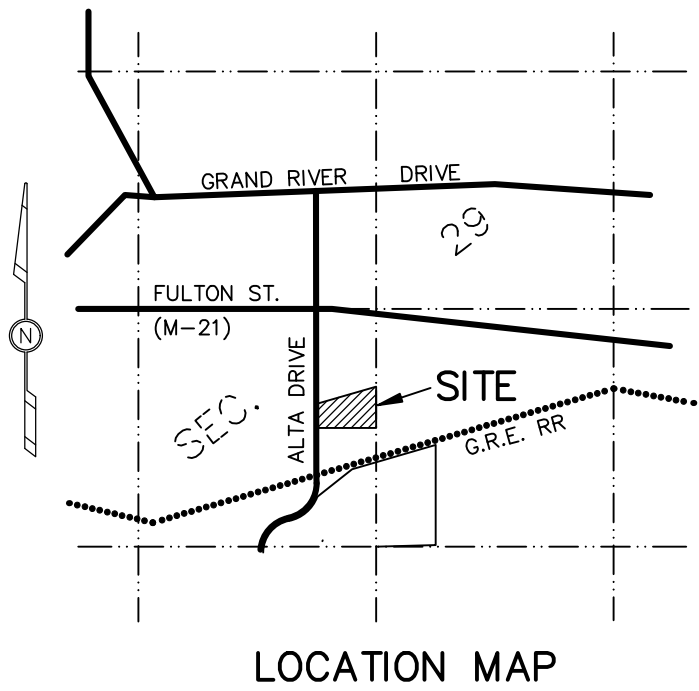
EXHIBIT B

Site Plan

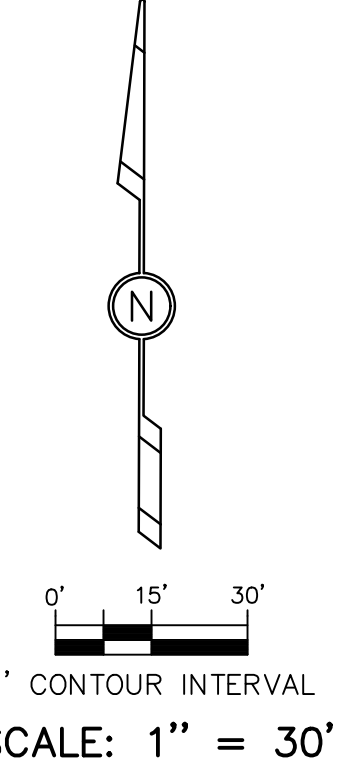


SITE INFORMATION	
•PROPERTY DESCRIPTION: LAND IN THE TOWNSHIP OF ADA, KENT COUNTY, MI, DESCRIBED AS FOLLOWS: THAT PART OF THE EAST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWN 7 NORTH, RANGE 10 WEST, ADA TOWNSHIP, KENT COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 29, THENCE NORTH 88 DEGREES 27 MINUTES EAST 1982.5 FEET ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION TO THE NORTHWEST CORNER OF SAID EAST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4, THENCE SOUTH 0 DEGREES 00 MINUTES 55 SECONDS WEST 1301.52 FEET ALONG THE WEST LINE OF SAID EAST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 TO A POINT THAT IS 459.55 FEET NORTH 0 DEGREES 00 MINUTES 55 SECONDS EAST FROM THE NORTHERLY RIGHT-OF-WAY LINE OF THE GRAND TRUNK WESTERN RAILROAD (100 FEET WIDE) FOR THE PLACE OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 0 DEGREES 00 MINUTES 55 SECONDS EAST 211.07 FEET ALONG THE WEST LINE OF SAID EAST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4, THENCE NORTH 74 DEGREES 51 MINUTES 55 SECONDS EAST 684.67 FEET TO THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION, THENCE SOUTH 0 DEGREES 00 MINUTES 05 SECONDS WEST 390.0 FEET ALONG SAID NORTH AND SOUTH 1/4 LINE TO A LINE BEARING SOUTH 89 DEGREES 59 MINUTES 05 SECONDS EAST FROM THE PLACE OF BEGINNING OF THIS DESCRIPTION, THENCE NORTH 89 DEGREES 59 MINUTES 05 SECONDS WEST 660.97 FEET TO THE PLACE OF BEGINNING.	
•PROPERTY ADDRESS:	200 ALTA DALE AVENUE SE
•PERMANENT PARCEL NUMBER:	41-15-29-327-005
•PARCEL SIZE:	4.56 ACRES (4.4 ACRES EXCLUDING RIGHT OF WAY)
MAPPING	
•MAPPING AND CONTOURS BASED SURVEY BY EXXEL ENGINEERING, INC. •SITE IS NOT LOCATED WITHIN A FEMA 100 YEAR FLOODPLAIN	
ZONING	
•EXISTING ZONING: I - 1 INDUSTRIAL	
EXISTING I-1 ZONE REGULATIONS	
PER ADA TOWNSHIP ZONING ORDINANCE, SECTION 78-384	
•MINIMUM LOT AREA :	40,000 SQ.FT.
•MINIMUM LOT WIDTH :	200'
•MINIMUM BUILDING SETBACKS :	
FRONT YARD :	50'
SIDE YARD :	50'
REAR YARD :	50'
EXISTING AND PROPOSED LAND USE	
•VEHICLE FLEET STORAGE (SPECIAL LAND USE)	
PARKING REQUIREMENTS	
BUSINESS SERVICES : 1 SPACE PER 300 SQFT OF FLOOR AREA: 5680 SQFT/300 = 18.9 SPACES STORAGE BUILDINGS : 1 SPACE PER 1000 SQFT OF FLOOR AREA: 2450 SQFT/1000 = 2.5 SPACES FLEET STORAGE : 1 SPACE PER 1000 SQFT OF FLOOR AREA: 10,100 SQFT/1000 = 10.1 SPACES TOTAL REQUIRED SPACES = 32 SPACES EXISTING PARKING SPACES : 20 (TO BE REMOVED) PROPOSED EXTERIOR PARKING SPACES : 21 (INCLUDING 2 BARRIER FREE SPACES) PROPOSED INTERIOR PARKING SPACES : 20 PROPOSED TOTAL PARKING SPACES : 41 (INCLUDING 2 BARRIER FREE SPACES)	
PROPOSED IMPROVEMENTS	
•LIGHTING AND LANDSCAPING SHALL MEET TOWNSHIP REQUIREMENTS-SEE SEPARATE PLANS FOR DETAILS. •REFER TO GEOTECHNICAL REPORT (PENDING) FOR SOIL BORING DETAILS. •NO NEW WATER SERVICE OR SANITARY LATERAL CONNECTION IS NEEDED. EXISTING SERVICES ARE TO SERVE BUILDING EXPANSION. •PROPOSED SITE IMPROVEMENTS NOT SUBJECT TO WETLAND SETBACK DUE TO BEING A "LOT OF RECORD" PRIOR TO ADOPTION OF SEC. 78-32 OF THE ADA TOWNSHIP ZONING ORDINANCE	

- SHEET INDEX :**
1. EXISTING CONDITIONS
 2. SITE DEMOLITION PLAN
 3. SITE LAYOUT PLAN
 4. SITE UTILITY PLAN
 5. SITE GRADING & SOIL EROSION CONTROL PLAN

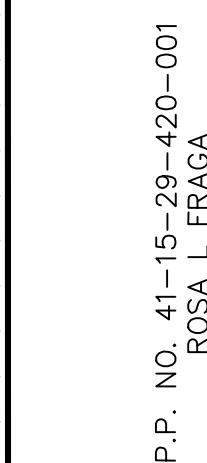


LEGEND	
○	IRON STAKE FOUND
—○—	UTILITY POLE & GUY WIRE
✱	LIGHT POLE
—	SIGN
⊞	CATCH BASIN
∞	CLEAN OUT
⊞	MAILBOX
⊞	TELEPHONE BOX
⊞	BURIED CATV LINE MARKER
—x—	FENCE LINE
— · — · —	OVERHEAD WIRES



EXISTING CONDITIONS	
200 ALTA DALE AVENUE	
FOR: AMDG ARCHITECTS	
ATTN: PETER BALDWIN	
25 COMMERCE AVENUE SW; SUITE 300	
GRAND RAPIDS, MI 49503	
PART OF THE SW 1/4, SECTION 29, T7N, R10W, ADA TOWNSHIP, KENT COUNTY, MICHIGAN	
DRAWN BY: JDR APPROVED BY: JSV DATE: 02/21/24	
PROJ. ENG.: JSV PROJ. SURV.: VAD DATE: 02-21-24	
SHEET 1 of 5	

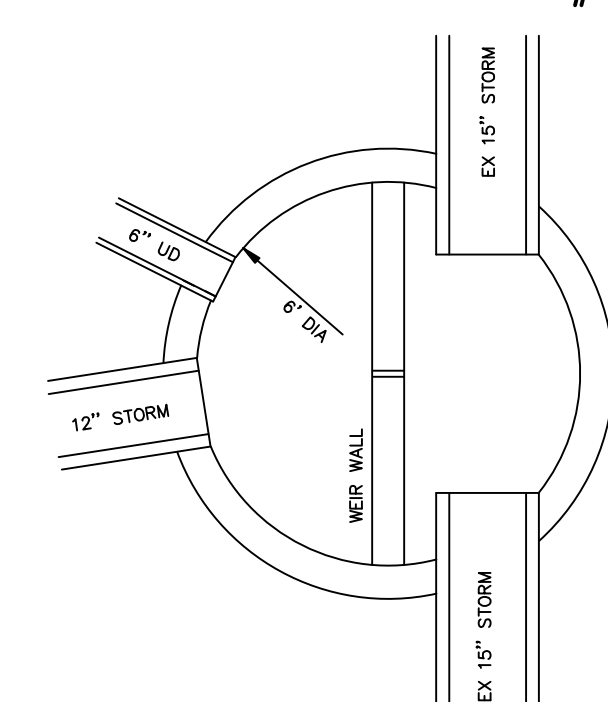
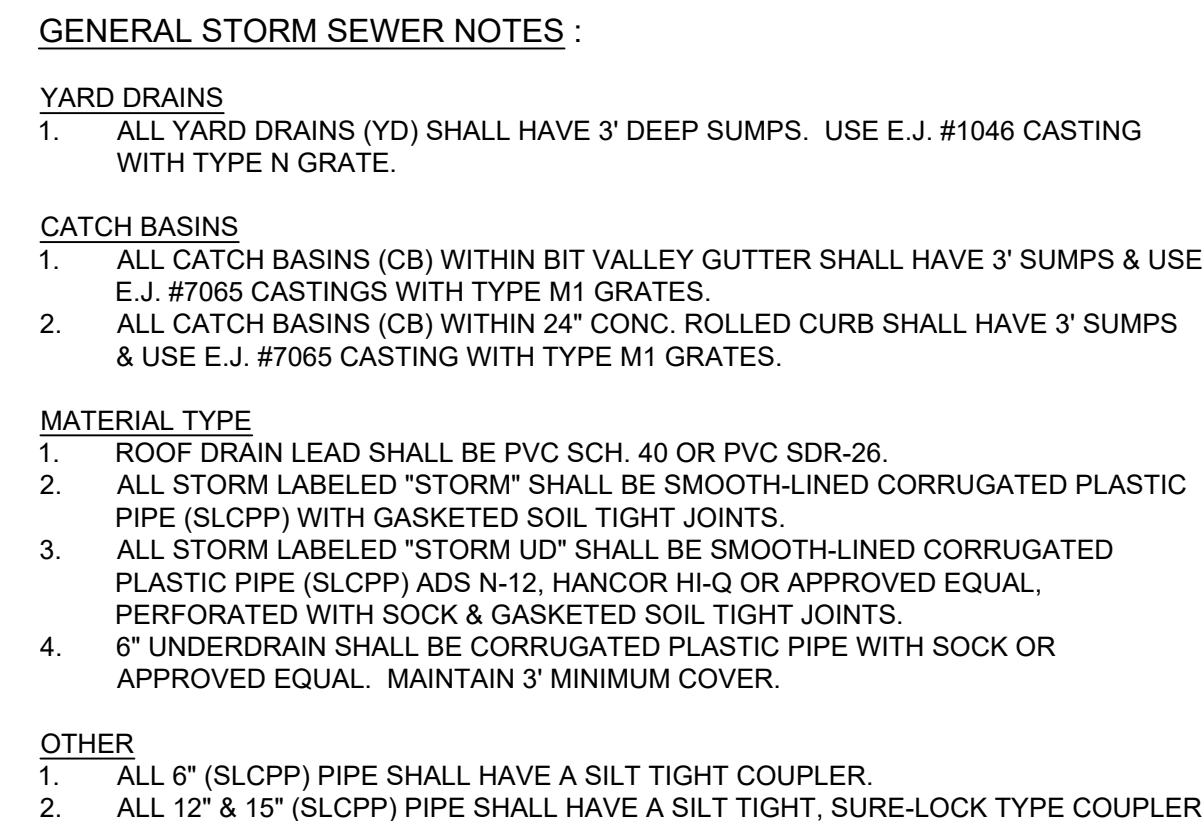




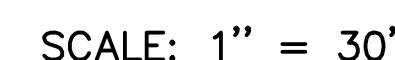
390.00'
CUT EX 15" STORM SEWER
& REMOVE AS NECESSARY
TO INSTALL PROP STORM
STRUCTURES

CUT EX 15" STORM
SEWER & REMOVE
TO THE SOUTH

REMOVE
CB TOP 667.90
12" CONC. W. 664.25
15" CONC. N. 664.05

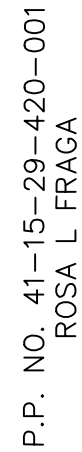


○ = IRON STAKE FOUND
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 ☐ = MAILBOX
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 — · — · — = OVERHEAD WIRES



 **exxel engineering, inc.**
planners • engineers • surveyors
5252 Clyde Park, S.W. • Grand Rapids, MI 49509
Phone: (616) 531-3660 www.exxelengineering.com

02/21/24	ZONING SUBMITTAL	TSS	DRAWN BY: JDR APPROVED BY: JSV FILE NO.: 231318E	PROJ. ENG.: JSV PROJ. SURV.: VAD DATE: 02-21-24	SHEET 4 of 5
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1. PROPERTY DESCRIPTION :

THAT PART OF THE EAST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWN N NORTH, RANGE 10 WEST, ADA TOWNSHIP, KECK COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 29, THENCE NORTH 88 DEGREES 27 MINUTES EAST 1982.5 FEET ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION TO THE NORTHWEST CORNER OF SAID EAST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4, THENCE SOUTH 0 DEGREES 00 MINUTES 55 SECONDS WEST 1301.52 FEET ALONG THE WEST LINE OF SAID EAST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 TO A POINT THAT IS 459.55 FEET NORTH 0 DEGREES 00 MINUTES 55 SECONDS EAST FROM THE NORTHWEST CORNER, RIGHTLY ANGLE TO THE GRAND TRUNK RIVER IN SHELBY AND NOBLES TOWNSHIPS, THENCE ALONG THE EAST 1/2 OF SECTION 29, TOWN N NORTH, RANGE 10 WEST, KECK COUNTY, MICHIGAN, TO THE PLACE OF BEGINNING, THENCE NORTH 0 DEGREES 00 MINUTES 55 SECONDS EAST 211.07 FEET ALONG THE WEST LINE OF SAID EAST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4, THENCE NORTH 74 DEGREES 51 MINUTES 55 SECONDS EAST 684.67 FEET TO THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION, THENCE SOUTH 0 DEGREES 00 MINUTES 05 SECONDS WEST 390.6 FEET ALONG SAID NORTH AND SOUTH 1/4 LINE TO A LINE BEARING SOUTH 89 DEGREES 59 MINUTES 05 SECONDS EAST FROM THE PLACE OF BEGINNING OF THIS DESCRIPTION, THENCE NORTH 89 DEGREES 59 MINUTES 05 SECONDS WEST 660.97 FEET TO THE PLACE OF BEGINNING.

2. TOTAL AREA OF DISTURBANCE = 1.30 ACRES.
3. THE OWNER SHALL OBTAIN THE SOIL EROSION CONTROL PERMIT. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SOIL EROSION CONTROL PERMIT.
4. ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION AND MAINTAINED, AS NECESSARY, UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
5. ALL DISTURBED NON-PAVED AREAS SHALL BE PERMANENTLY STABILIZED WITH AT LEAST 4" OF TOPSOIL AND BE SEEDDED.
6. THE CONSTRUCTION ENTRANCE IS OFF ALTA DALE AVENUE. PREVENT TRACKING SOIL OFF-SITE. IF TRACKING OCCURS, SWEEP SOIL IMMEDIATELY.
7. CONTROL DUST BY DISTRIBUTING WATER REGULARLY OVER DISTURBED AREAS.
8. INSPECT AND MAINTAIN ALL TEMPORARY SOIL EROSION CONTROLS DAILY AND AFTER EACH SIGNIFICANT RAINFALL EVENT.
9. THE SEDIMENT SHALL BE CONTAINED ON-SITE.
10. PLACE SILT SACKS ON CATCH BASINS AFFECTED BY SITE CONSTRUCTION AND REMOVE WHEN SITE IS STABILIZED. INSTALL SILT SACKS PER MANUFACTURERS RECOMMENDATIONS.
11. CLEAN OUT CATCH BASIN SUMPS AND DETENTION BASIN AREAS UPON PROJECT COMPLETION.
12. PLACE SILT FENCE AS SHOWN ON PLAN AND PER DETAIL AND ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
13. ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT SESC MEASURES.
14. SILT FENCE IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND/OR PROPERTY LINES AND MUST REMAIN IN PLACE UNTIL ALL VEGETATION IS UNIFORMLY RE-ESTABLISHED. THE SILT FENCE MUST BE TOED IN A MINIMUM OF 6' ALONG ITS BASE.
15. ALL SLOPES 1V: 4H OR STEEPER SHALL BE STABILIZED, AS NECESSARY, WITH AT LEAST 4" TOPSOIL AND WITH TACKIFYING MULCH AND/OR SOIL EROSION CONTROL MATTING (NAG S-150 OR EQUIVALENT OR BETTER). MATTING, ALONG WITH THE NECESSARY STAPLES OR WOOD PEGS, SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATIONS WITH SEAMS PARALLEL TO THE DIRECTION OF SURFACE RUNOFF.
16. ADJACENT TO CARL CREEK.
17. THE SOILS ON THIS SITE CONSIST OF SAND PER USDA NRCS WEB SOILS REPORT.
18. CONSTRUCTION SCHEDULE:
 - a. APRIL 2024 INSTALL EROSION CONTROL
 - b. APRIL/JULY 2024 DEMO & SITE GRADING
 - c. APRIL 2024 BEGIN SITE WORK
 - d. NOV. 2024 COMPLETE SITE WORK
 - e. APRIL/JUNE 2025 FINAL RESTORATION
19. THE MAINTENANCE NECESSARY FOR THE PERMANENT SOIL EROSION CONTROL MEASURES IS THE RESPONSIBILITY OF THE OWNER.





PART OF THE SW 1/4, SECTION 29, T7N, R10W, ADA TOWNSHIP, KENT COUNTY, MICHIGAN

[illegible]

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 planners • engineers • surveyors
 5252 Clyde Park, S.W. • Grand Rapids, MI 49509
 Phone: (616) 531-3660 www.exxelengineering.com

DRAWN BY: JDR	PROJ. ENG.: JSV	SHEET 5 of 5
APPROVED BY: JSV	PROJ. SURV.: VAD	
FILE NO.: 231318E	DATE: 02-21-24	

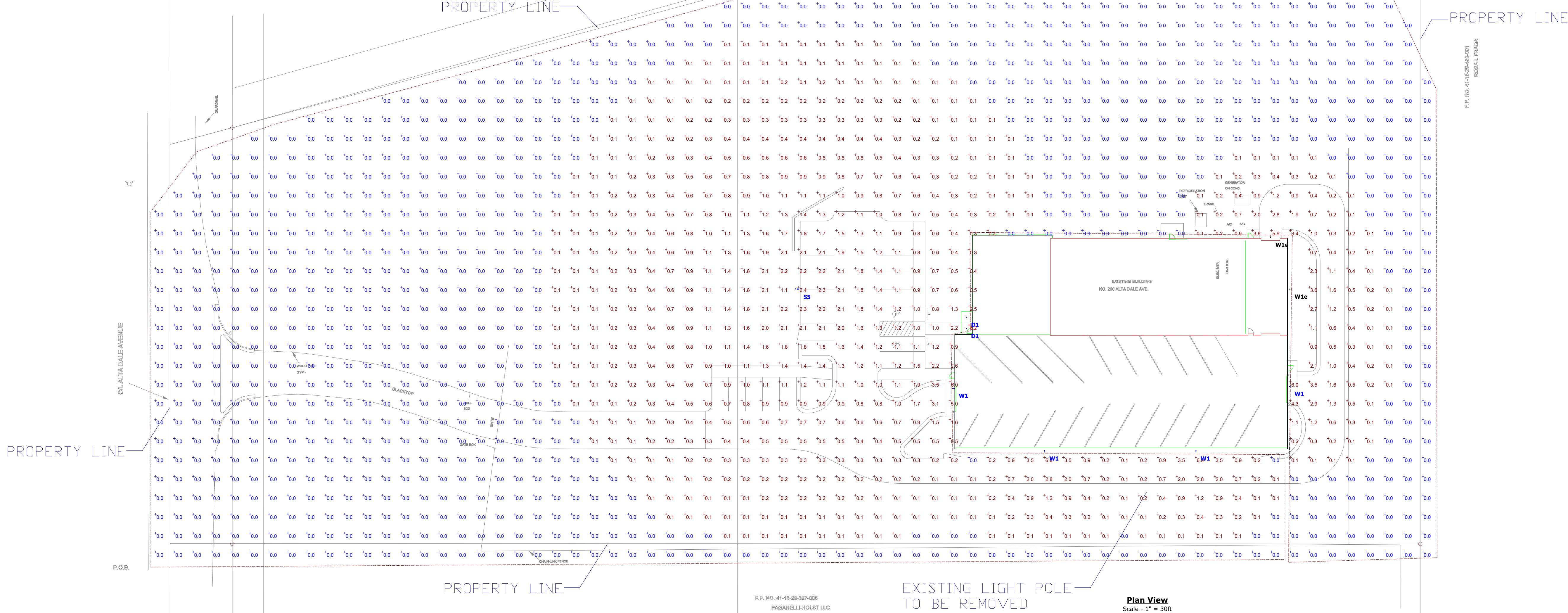
Know what's below.
Call before you dig.

--- 674 --- = PROPOSED CONTOUR
 --- 674 --- = EXISTING CONTOUR
 674.00 = PROPOSED SPOT ELEVATION
 + 674.02 = EXISTING SPOT ELEVATION
 ---S---S--- = SILT FENCE
 = SILT SACK
 = YARD DRAIN PROTECTION



1' CONTOUR INTERVAL

SCALE: 1" = .30

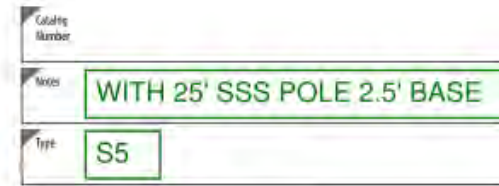
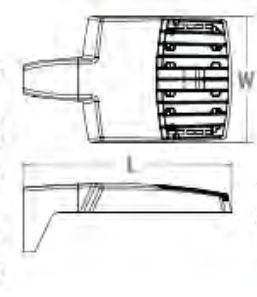


RSX1 LED Area Luminaire



Specifications

EPA (ft-cd): 0.57 ft (0.05 m)
Length: 21.8" (55.4 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
Weight: 22.0 lbs (10.0 kg)
(SPA mount)



Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill-hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral splitter and other mounting configurations are available.



Items marked by a **design select** logo qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.lithonia.com/designselect.
*See ordering table for details.

Ordering Information

Series	Performance Package	Color Temperature	Dimensions	Wattage	Mounting
RSX1 LED	P1	3000K	21.8" x 13.3"	70W	SPA
	P2	4000K	21.8" x 13.3"	100W	SPA
	P3	5000K	21.8" x 13.3"	150W	SPA

EXAMPLE: RSX1 LED P4 40K R3 MVOLET SPA DDBXD

Options	Options	Options
RS: Phosphor (HMI)	SH: Standard	SH: Standard
PT: Phosphor (Low Temp)	SH: Standard	SH: Standard
SP: Single Base (13.3" x 13.3")	SH: Standard	SH: Standard
SP: Single Base (13.3" x 13.3")	SH: Standard	SH: Standard
SP: Single Base (13.3" x 13.3")	SH: Standard	SH: Standard
SP: Single Base (13.3" x 13.3")	SH: Standard	SH: Standard
SP: Single Base (13.3" x 13.3")	SH: Standard	SH: Standard
SP: Single Base (13.3" x 13.3")	SH: Standard	SH: Standard
SP: Single Base (13.3" x 13.3")	SH: Standard	SH: Standard
SP: Single Base (13.3" x 13.3")	SH: Standard	SH: Standard

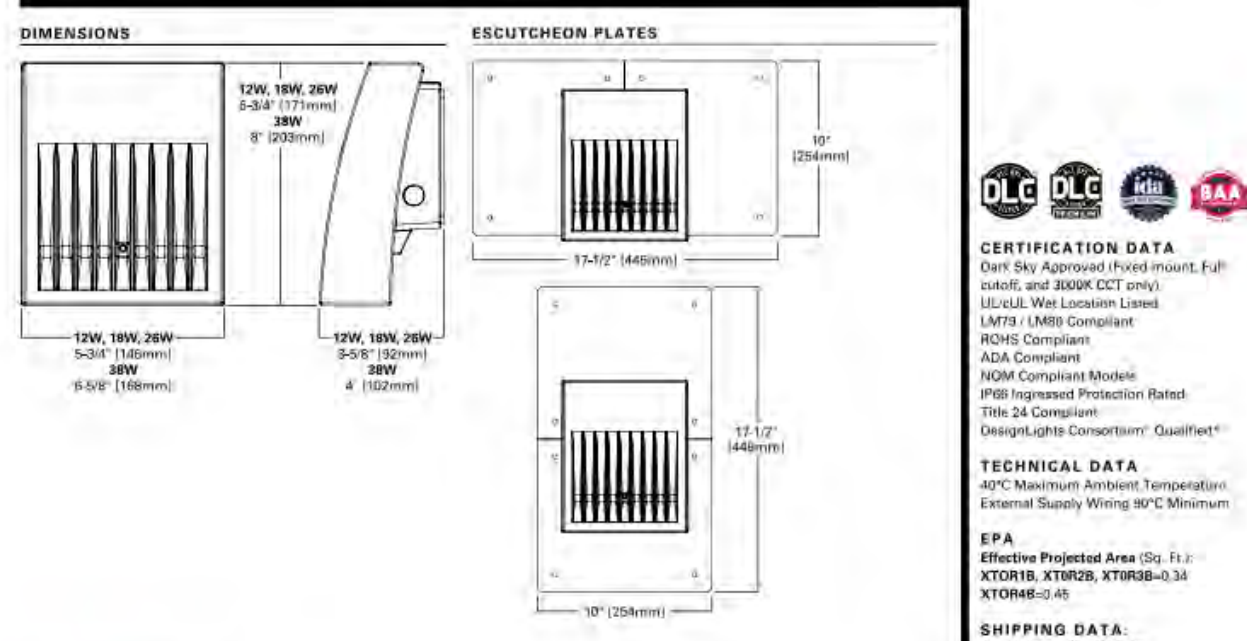
Category #	Type
W1	W1
W1e	W1e
S5	S5

DESCRIPTION
The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for walkways, overhangs and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading dock exits.

CONSTRUCTION
Slim, low profile LED design with rugged one-piece, die-cast aluminum housing removable door and back box. Matching housing style incorporates both a small and medium design. The small housing is available in 12W, 18W and 30W. The medium housing is available in the 38W model. Patented secure lock ring feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3/4" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the luminaire surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

FINISH
Crosstour is protected with a Super durable TGIC carbon lacquer or current white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed light. Options to meet Buy American and other domestic preference requirements.

WARRANTY
Five-year warranty.



FEATURES & SPECIFICATIONS

EXTENDED USE — 6" Wide LED technology with built-in white provides high quality light output and efficiency featuring a switch for easy color temperature adjustment — while eliminating the need for recoloring. The innovative, die-cast design allows for easy retrofit, even in a new construction installation from before the ceiling. The LED module maintains at least 70% light output for 50,000 hours. The Wide LED downlight is over 100% efficient — making it ideal for use in a breadth of outdoor residential, hospitality, commercial and multi-family applications.

CONSTRUCTION — Aluminum die-cast enclosure. Double, powder-coated paint system. 1/8" minimum rated cable connector to connect from module to remote driver box. IC rated driver with connector and value to meet most select cable temperature options, such as 100°C (212°F), 150°C (302°F), 200°C (392°F), 250°C (482°F), 300°C (572°F), 350°C (662°F), 400°C (752°F), 450°C (842°F), 500°C (932°F), 550°C (1022°F), 600°C (1112°F), 650°C (1202°F), 700°C (1292°F), 750°C (1382°F), 800°C (1472°F), 850°C (1562°F), 900°C (1652°F), 950°C (1742°F), 1000°C (1832°F), 1050°C (1922°F), 1100°C (2012°F), 1150°C (2102°F), 1200°C (2192°F), 1250°C (2282°F), 1300°C (2372°F), 1350°C (2462°F), 1400°C (2552°F), 1450°C (2642°F), 1500°C (2732°F), 1550°C (2822°F), 1600°C (2912°F), 1650°C (3002°F), 1700°C (3092°F), 1750°C (3182°F), 1800°C (3272°F), 1850°C (3362°F), 1900°C (3452°F), 1950°C (3542°F), 2000°C (3632°F), 2050°C (3722°F), 2100°C (3812°F), 2150°C (3902°F), 2200°C (3992°F), 2250°C (4082°F), 2300°C (4172°F), 2350°C (4262°F), 2400°C (4352°F), 2450°C (4442°F), 2500°C (4532°F), 2550°C (4622°F), 2600°C (4712°F), 2650°C (4802°F), 2700°C (4892°F), 2750°C (4982°F), 2800°C (5072°F), 2850°C (5162°F), 2900°C (5252°F), 2950°C (5342°F), 3000°C (5432°F), 3050°C (5522°F), 3100°C (5612°F), 3150°C (5702°F), 3200°C (5792°F), 3250°C (5882°F), 3300°C (5972°F), 3350°C (6062°F), 3400°C (6152°F), 3450°C (6242°F), 3500°C (6332°F), 3550°C (6422°F), 3600°C (6512°F), 3650°C (6602°F), 3700°C (6692°F), 3750°C (6782°F), 3800°C (6872°F), 3850°C (6962°F), 3900°C (7052°F), 3950°C (7142°F), 4000°C (7232°F), 4050°C (7322°F), 4100°C (7412°F), 4150°C (7502°F), 4200°C (7592°F), 4250°C (7682°F), 4300°C (7772°F), 4350°C (7862°F), 4400°C (7952°F), 4450°C (8042°F), 4500°C (8132°F), 4550°C (8222°F), 4600°C (8312°F), 4650°C (8402°F), 4700°C (8492°F), 4750°C (8582°F), 4800°C (8672°F), 4850°C (8762°F), 4900°C (8852°F), 4950°C (8942°F), 5000°C (9032°F), 5050°C (9122°F), 5100°C (9212°F), 5150°C (9302°F), 5200°C (9392°F), 5250°C (9482°F), 5300°C (9572°F), 5350°C (9662°F), 5400°C (9752°F), 5450°C (9842°F), 5500°C (9932°F), 5550°C (10022°F), 5600°C (10112°F), 5650°C (10202°F), 5700°C (10292°F), 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(15332°F), 8550°C (15422°F), 8600°C (15512°F), 8650°C (15602°F), 8700°C (15692°F), 8750°C (15782°F), 8800°C (15872°F), 8850°C (15962°F), 8900°C (16052°F), 8950°C (16142°F), 9000°C (16232°F), 9050°C (16322°F), 9100°C (16412°F), 9150°C (16502°F), 9200°C (16592°F), 9250°C (16682°F), 9300°C (16772°F), 9350°C (16862°F), 9400°C (16952°F), 9450°C (17042°F), 9500°C (17132°F), 9550°C (17222°F), 9600°C (17312°F), 9650°C (17402°F), 9700°C (17492°F), 9750°C (17582°F), 9800°C (17672°F), 9850°C (17762°F), 9900°C (17852°F), 9950°C (17942°F), 10000°C (18032°F), 10050°C (18122°F), 10100°C (18212°F), 10150°C (18302°F), 10200°C (18392°F), 10250°C (18482°F), 10300°C (18572°F), 10350°C (18662°F), 10400°C (18752°F), 10450°C (18842°F), 10500°C (18932°F), 10550°C (19022°F), 10600°C (19112°F), 10650°C (19202°F), 10700°C (19292°F), 10750°C (19382°F), 10800°C (19472°F), 10850°C (19562°F), 10900°C (19652°F), 10950°C (19742°F), 11000°C (19832°F), 11050°C (19922°F), 11100°C (20012°F), 11150°C (20102°F), 11200°C (20192°F), 11250°C (20282°F), 11300°C (20372°F), 11350°C (20462°F), 11400°C (20552°F), 11450°C (20642°F), 11500°C (20732°F), 11550°C (20822°F), 11600°C (20912°F), 11650°C (21002°F), 11700°C (21092°F), 11750°C (21182°F), 11800°C (21272°F), 11850°C (21362°F), 11900°C (21452°F), 11950°C (21542°F), 12000°C (21632°F), 12050°C (21722°F), 12100°C (21812°F), 12150°C (21902°F), 12200°C (21992°F), 12250°C (22082°F), 12300°C (22172°F), 12350°C (22262°F), 12400°C (22352°F), 12450°C (22442°F), 12500°C (22532°F), 12550°C (22622°F), 12600°C (22712°F), 12650°C (22802°F), 12700°C (22892°F), 12750°C (22982°F), 12800°C (23072°F), 12850°C (23162°F), 12900°C (23252°F), 12950°C (23342°F), 13000°C (23432°F), 13050°C (23522°F), 13100°C (23612°F), 13150°C (23702°F), 13200°C (23792°F), 13250°C (23882°F), 13300°C (23972°F), 13350°C (24062°F), 13400°C (24152°F), 13450°C (24242°F), 13500°C (24332°F), 13550°C (24422°F), 13600°C (24512°F), 13650°C (24602°F), 13700°C (24692°F), 13750°C (24782°F), 13800°C (24872°F), 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BUILDING INFORMATION	
PLANNING ZONE	INDUSTRIAL (WITH SPECIAL EXCEPTION ORDINANCE)
FINISH FLOOR ELEVATION	670.16
CONSTRUCTION TYPE (IBC TABLE 503)	II-B
AUTOMATIC SPRINKLERS	NON-SPRINKLED
NUMBER OF STORIES	2 STORIES
GROSS AREA	19,183 SF - TOTAL MAIN EXISTING - 6,446 SF MAIN S-2 NEW - 10,560 SF MAIN B NEW - 2,177 SF
PROPOSED USE GROUP (IBC 303.1.3)	B - BUSINESS USE OFFICE S-1 - ACCESSORY STORAGE S-2 - LOW HAZARD STORAGE (PARKING GARAGE)

PLANNING ZONE	INDUSTRIAL (WITH SPECIAL EXCEPTION ORDINANCE)
FINISH FLOOR ELEVATION	670.16
CONSTRUCTION TYPE (IBC TABLE 503)	II-B
AUTOMATIC SPRINKLERS	NON-SPRINKLED
NUMBER OF STORIES	2 STORIES
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PROPOSED USE GROUP (IBC 303.1.3)	B - BUSINESS USE OFFICE S-1 - ACCESSORY STORAGE S-2 - LOW HAZARD STORAGE (PARKING GARAGE)

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
ACE SAC	ACER SACCHARUM	SUGAR MAPLE	2	2.5" CAL.

1. ALL PROPOSED LANDSCAPE SHALL MEET STANDARDS SET FORTH BY THE CITY OF ADA.
2. PLANT MATERIAL SHALL COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60 "AMERICAN STANDARD FOR NURSERY STOCK." PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN ALONG WITH STANDARDS SET FORTH BY THE OHIO STATE UNIVERSITY COOPERATIVE EXTENSION SERVICE.
3. ANY UNHEALTHY, WITHERED, SEVERELY PRUNED, DISEASED OR DEAD PLANTS SHALL BE REPLACED WITHIN ONE (1) YEAR OR THE NEXT APPROPRIATE PLANTING PERIOD.
4. ALL PROPOSED DECIDUOUS, EVERGREEN TREES, SHRUBS, AND PERENNIALS SHALL RECEIVE SHREDED HARDWOOD BARK MULCH TO A DEPTH OF 3" . MULCH SHALL NOT BE PLACED ON OR UP AGAINST THE PLANT MATERIAL.
5. ALL TREES SHALL PLANTED WITH A 4" CLEARANCE ON EITHER SIDE OF ALL SUB-SURFACE UTILITIES. IF CONFLICTS ARISE, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
6. THE GRAPHIC PLANT SYMBOL QUANTITIES SHOWN ON THE PLAN SHALL OVERRIDE ANY DISCREPANCIES BETWEEN THE QUANTITIES SHOWN ON THE PLANT LIST.
7. ALL LAWN AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDS AS LAWN.



200 ALTA DALE

[illegible]

AMDG
ARCHITECTS

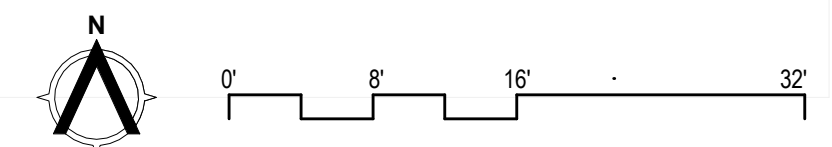
25 COMMERCE SW SUITE 400
GRAND RAPIDS, MICHIGAN 49503
(616) 454-1600 PHONE
(616) 454-1610 FAX

PRELIMINARY
NOT FOR CONSTRUCTION

PROJ. NO.	230010
PROJECT MANAGER	TP
PROJECT ARCHITECT	BH

1.1

LANDSCAPE PLAN
3/32" = 1'-0"



BUILDING INFORMATION	
PLANNING ZONE	INDUSTRIAL (WITH SPECIAL EXCEPTION ORDINANCE)
FINISH FLOOR ELEVATION	670.15
CONSTRUCTION TYPE (IBC TABLE 503)	II-B
AUTOMATIC SPRINKLERS	NON-SPRINKLED
NUMBER OF STORIES	2 STORIES
GROSS AREA	19,183 SF - TOTAL EXISTING - 6,446 SF (B 3,996 SF & S-1 2,450 SF) S-2 NEW - 10,980 SF B NEW - 2,177 SF
PROPOSED USE GROUP (IBC 303.1.3)	B - BUSINESS USE OFFICE S-1 - ACCESSORY STORAGE S-2 - LOW HAZARD STORAGE (PARKING GARAGE)

200 ALTA DALE
GARAGE AND OFFICE ADDITION

Ada, Michigan

[illegible]

REVISION	DATE

AMDG
ARCHITECTS

25 COMMERCE SW SUITE 400
GRAND RAPIDS, MICHIGAN 49503
(616) 454-1600 PHONE
(616) 454-1610 FAX

PRELIMINARY
NOT FOR CONSTRUCTION

OVERALL FLOOR PLAN

PROJ. NO.	230010
PROJECT MANAGER	TP
PROJECT ARCHITECT	BH

A1

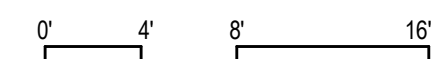
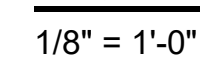
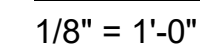
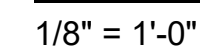
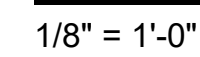
Ada, Michigan

REVISION	DATE
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25 COMMERCE SW SUITE 400
GRAND RAPIDS, MICHIGAN 49503
(616) 454-1600 PHONE
(616) 454-1610 FAX

OVERALL ELEVATIONS

A2





MEMORANDUM

Date: 03.07.24

TO: Ada Township Planning Commission
FROM: Department of Planning
RE: **March 21, 2024 – Request for Extension of PVM District Development Plan Approval – 7369 Thornapple River Drive SE (6 dwelling units; K. Dixon/U. Turan), Parcel No. 41-15-34-126-021**

Request Overview

The applicant seeks approval of a one year extension to the Planned Village Mixed-Use (PVM) District Development Plan approved for the project at 7369 Thornapple River Drive, consisting of six attached dwelling units (3 attached and 3 stacked) on the +/- 0.2 acre site in Transect Zone Village Proper 1 within the PVM Overlay District (VR Village Residential underlying zoning district).

The Planning Commission approved the original PVM District Development Plan for this project on November 17, 2022, and approved an amended plan (balcony modifications) on June 15, 2023. Absent approval of an extension request, this Plan would expire on May 17, 2024.

Review of this matter is limited to the extension request timing only; the existing approved PVM Plan is not subject to further review.

Analysis

It is the applicant's responsibility to adhere to the approval schedule as specified in the Zoning Ordinance; to date, the applicant has not provided an update as to the project's status, applications for permits, etc. If an extension is approved, the applicant will need to obtain a building permit by May 17, 2025, or request – and receive approval for – an additional one-year extension before that date.

It is recommended that the applicant provide a project status update at the March 21 meeting, including planned start date for this development, so that the Planning Commission and Staff know what to expect in the future.

Section 78-480 (g) specifies requirements for duration and expiration of approval, and a process allowing for extensions, as follows:

(g) Duration of approval; extension of approval; expiration of approval.

(1) A PVM district development plan approval granted on or after the effective date of the amendment ordinance enacting this subsection 78-480(g) shall be valid for a period of 18 months from the date of approval by the planning commission or zoning administrator, whichever granted the original approval. Plans granted approval prior to the effective date of the amendment ordinance enacting this subsection 78-480(g) shall be valid for a period of 18 months following said effective date.

(2) If a building permit has been issued within 18 months from the date of plan approval, the plan approval shall remain valid so long as the building permit remains valid. If no building permit has been issued within 18 months from the date of plan approval, the development plan approval shall be deemed expired and no longer valid.

(3) Upon submittal of a written request prior to the date of expiration of the development plan approval, a one-year extension of the approval period may be granted by the planning commission or zoning administrator, whichever granted the original approval. If approved, the extension period shall begin from the date of the original development plan approval.

(4) A maximum of two one-year extensions of development plan approval may be granted.

(5) In considering whether to approve a request for an extension of development plan approval, the standards contained in subsection 78-480(e) shall govern.

Section 78-480 (e) specifies that the approved plan is consistent with the Ada Village design, the PVM District, and all zoning regulations. The Planning Commission confirmed these matters with original approval of this request in November, 2022.

Recommendation

Once an update is received, Staff has no objections to the approval of a one-year extension, to May 17, 2025, with the same conditions from the original approval remaining in place. These are as follows (excerpted from the minutes of the November 17, 2022 and June 15, 2023 meetings):

1. *The Planning Commission hereby makes the following findings:*
 - a. *The proposed development plan, as modified by the conditions of approval listed below, requires the following "departures" from the standards of the PVM District, which are hereby approved:*
 - *Lot width of 147.86 feet, in lieu of the allowed maximum of 128 feet.*
 - *Lot frontage of 69%, in lieu of the minimum required 70%.*
 - *Side yard setback of 1.2 feet, in lieu of the minimum required 5 feet.*
 - *Use departure to allow for live-work space on the first floor of the three rowhouse units.*
 - b. *The above departures result in a plan that complies with the spirit and intent of the PVM District to a greater degree than would be possible without approval of the departures.*
 - c. *The proposed development with departures is consistent with the purpose and intent of the PVM District.*
 - d. *The proposed development with departures, in comparison to conformance with PVM District standards, will not have a detrimental impact on adjacent property or the surrounding neighborhood.*

- e. *The proposed development with departures is necessary and appropriate to accommodate a superior design of the proposed development.*
2. *The proposed development plan for a new 10,332 sq. ft. 3-story "apartment house" (rental) residential building is hereby approved, subject to the following conditions:*
 - a. *The applicant shall provide the following, and shall obtain Township Staff approval, prior to the issuance of any building permit:*
 - o *A lighting plan indicating full horizontal cutoff fixtures of a low-intensity non-glare style. There shall be no pole-mounted fixtures on this site.*
 - o *A revised landscape plan indicating that the existing Burr Oak trees shall be preserved.*
 - o *The applicant shall provide a plan showing privacy screening around the HVAC units similar to the screening to be used for the garbage/recycling receptacles.*
 - b. *There shall be no food service, storage, retail sales, or distribution within the live-work units, nor shall any business operation within the live-work units be owned/operated/leased by any party other than the tenant of the corresponding dwelling unit.*
 - c. *Except as modified in accordance with these conditions of approval, the building and site improvements shall be completed substantially as shown on the plan set titled "7369 Thornapple River Drive SE", as follows (showing latest revision dates):*
 - 1) *Existing Conditions and Demolition Plan Sheet C-201, dated 10/19/22.*
 - 2) *Site Layout Plan Sheet C-205, dated 11/4/22.*
 - 3) *Grading & S.E.S.C. Plan Sheet C-300, dated 10/19/22.*
 - 4) *Utility Plan Sheet C-400, dated 10/19/22.*
 - 5) *Landscape Plan Sheet L-201, dated 11/4/22.*
 - 6) ~~*Floor Plan Sheet A2.1, dated 11/4/22.*~~
Level 1 Floor Plan Sheet A101 (not dated). (Updated at the June 15, 2023 meeting.)
 - 7) ~~*Exterior Elevation Sheet A4.1, dated 11/4/22.*~~
Exterior Elevations Sheet A501 (not dated). (Updated at the June 15, 2023 meeting.)
 - 8) *Building Renderings Sheet 5.1, dated 10/20/22.*



523 ada drive se, suite 200 po box 404 ada, mi 49301
p. (616) 682-4570 www.dixonarch.com

February 1, 2024

Mr. John D. Said, AICP
Director of Planning, Ada Township
7330 Thornapple River Dr., PO Box 370
Ada, MI 49301

RE: 7369 Thornapple River Drive SE

Dear Mr. Said,

I am writing on behalf of Turan, the owner of the property located at 7369 Thornapple River Drive SE, in connection with the site plan approval granted on November 17, 2022.

We appreciate your diligence in bringing to our attention the Zoning Ordinance's requirement regarding the issuance of a building permit within 18 months of the PVM Development Plan approval. Understanding the significance of compliance with the ordinance, we would like to formally request a one-year extension as allowed under Sec. 78-480(g) of the Zoning Ordinance.

In accordance with the ordinance, we are submitting this written request in advance of the May 17, 2024 deadline to ensure ample time for review by the Planning Commission at their next available meeting. We understand that, per the ordinance, the extension period shall begin from the date of the original plan approval, and we are prepared to provide any additional information or documentation required for this process.

We are committed to ensuring the successful implementation of the approved plan and appreciate your consideration of this extension request. If there are any specific procedures or forms that need to be completed as part of this process, please do not hesitate to inform us, and we will promptly fulfill those requirements. Thank you for your time and attention to this matter.

DIXON ARCHITECTURE

A handwritten signature in black ink that reads "Ken Dixon". The signature is stylized, with the first letters of the first and last names being capitalized and prominent.

Ken Dixon, Principal Architect
Cc: Turan

PREPARED FOR:
Dixon Architecture
Attention: Ken Dixon
523 Ada Drive, SE
Suite 200
PO Box 404
Ada, MI 49301
Phone: (616) 682-4570

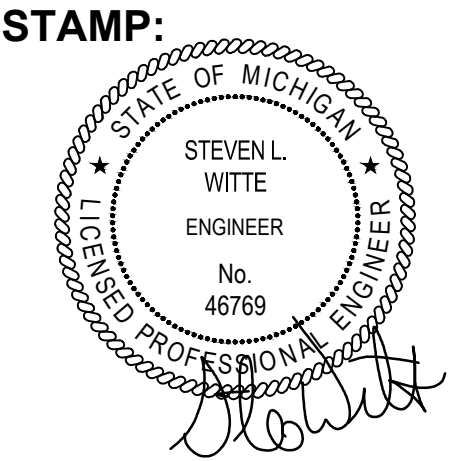
REVISIONS:

Title: Preliminary Plan	Drawn: SW	Checked: SW	Date: 06/10/22
Title: Preliminary Plan	Drawn: SW	Checked: SW	Date: 06/27/22
Title: Site Plan	Drawn: SW	Checked: SW	Date: 07/20/22
Title: Site Plan Submittal	Drawn: SW	Checked: SW	Date: 08/17/22
Title: Site Plan Submittal	Drawn: SW	Checked: SW	Date: 09/05/22
Title: Site Plan Resubmittal	Drawn: SW	Checked: SW	Date: 10/08/22
Title: Per Owner/Architect	Drawn: SW	Checked: SW	Date: 10/19/22
			Date: 11/04/22

7369 Thornapple River Drive SE

Landscape Plan

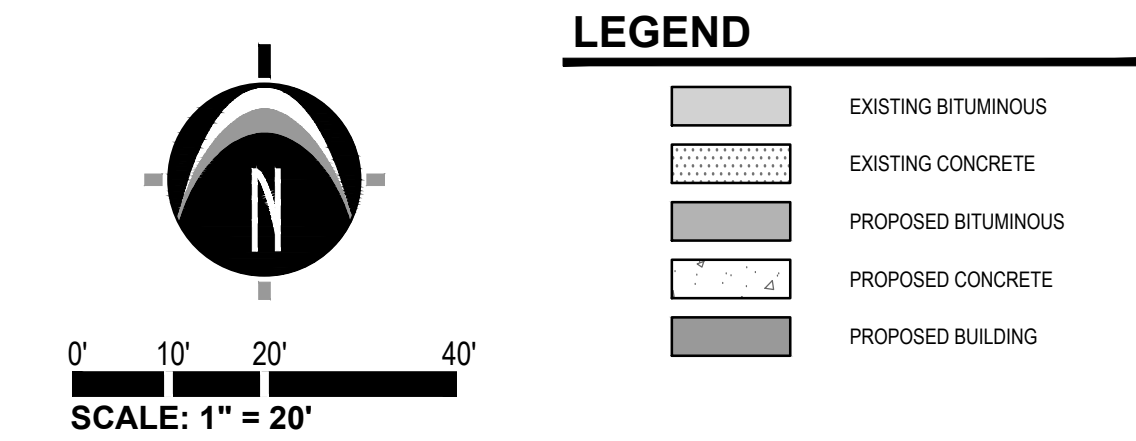
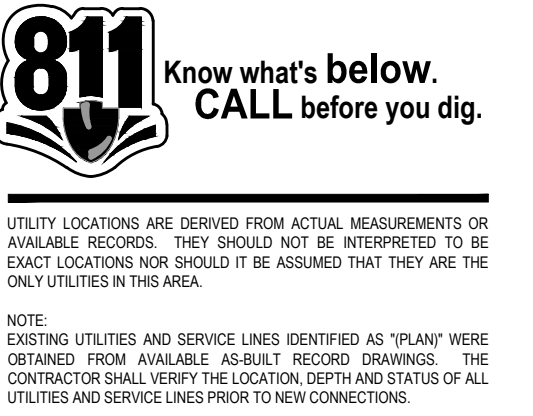
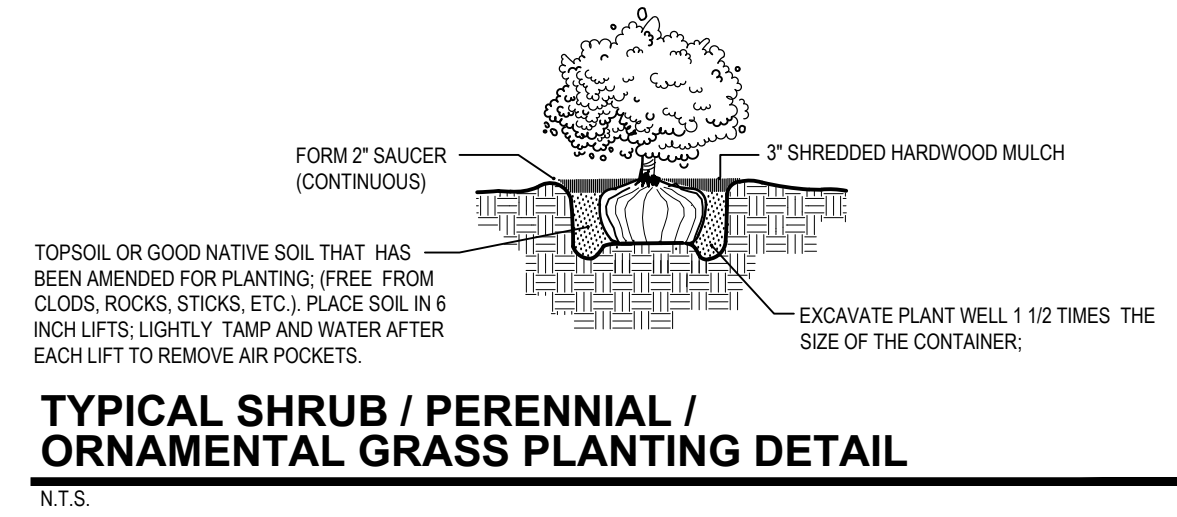
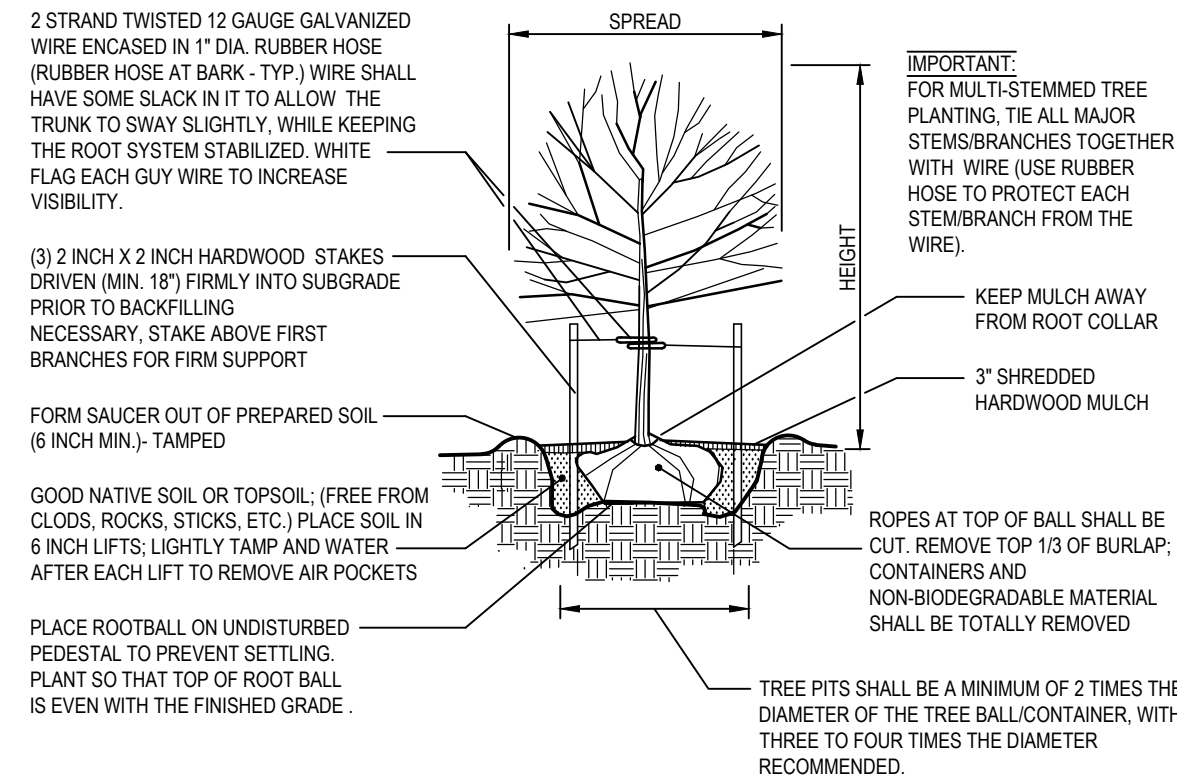
7369 Thornapple River Dr SE
PART OF THE NORTHWEST 1/4 OF SECTION 34, T7N, R10W,
ADA TOWNSHIP, KENT COUNTY, MICHIGAN



PROJECT NO:
22400686

SHEET NO:
L-201

SHEET: 5 OF 5



LANDSCAPE NOTES

- PLANTING NOTES:**
- 1) ALL PLANT MATERIAL SHALL BE LOCALLY NURSERY GROWN NO.1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER, LANDSCAPE ARCHITECT, AND/OR CONSTRUCTION MANAGER. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
 - 2) SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
 - 3) ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - 4) MAINTENANCE OF LANDSCAPING ITEMS, TREES, AND PLANTS SHALL BE PERFORMED BY THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY, AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO.
 - 5) PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE, AND BACKFILL TO TOP OF ROOT BALL.
 - 6) REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
 - 7) FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION. ALL PLANTING BEDS SHALL BE EDGED WITH 6" X 12" GAUGE STEEL. LANDSCAPE EDGING.
 - 8) LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXIST, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.
 - 9) PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.

- TOPSOIL AND TURF NOTES:**
- 1) WHEREVER GROUND IN ITS NATURAL STATE HAS BEEN DISTURBED, APPROVED LANDSCAPING OR GRASS SHALL BE FULLY INSTALLED, AND ESTABLISHED WITHIN A REASONABLE PERIOD OF TIME, BUT NO LONGER THAN ONE GROWING SEASON (UNLESS OTHERWISE NOTED AND APPROVED).
 - 2) DURING EXCAVATION, GRADING, AND INSTALLATION OF REQUIRED LANDSCAPING, ALL SOIL EROSION AND SEDIMENTATION CONTROL REGULATIONS SHALL BE STRICTLY FOLLOWED AND COMPLIED WITH.
 - 3) ALL LAWN AREAS SHALL RECEIVE SOD OR HYDROSEED. TURF SHALL BE INSTALLED ON TOPSOIL UNLESS APPROVED OTHERWISE. DO NOT PLANT UNTIL ACCEPTANCE OF FINISH GRADE.
 - 4) SOD SHALL BE GROWN ON TOPSOIL UNLESS APPROVED OTHERWISE. SOD SHALL BE 2 YEARS OLD AND STRONGLY ROOTED. PLACE SOD TIGHTLY WITH NO GAPS AND WITH GRAIN IN SAME DIRECTION. SEAMS OF SOD SHALL BE STAGGERED IN A RUNNING BOND PATTERN. SOD SHALL BE WATERED IMMEDIATELY TO AVOID DRYING OUT. DO NOT INSTALL SOD UNTIL ACCEPTANCE OF FINISH GRADE AND IRRIGATION SYSTEM IS OPERATING PROPERLY. UNLESS DIRECTED IN WRITING TO DO OTHERWISE, FINISH ROLL SOD WITH A WATER FILLED LAWN ROLLER, ROLL PERPENDICULAR TO LENGTH OF SOD.
 - 5) TURF SHALL BE INSTALLED ON A MIN. OF 3'-4" OF LIGHTLY COMPACTED APPROVED TOPSOIL. TOPSOIL SHALL BE FERTILE, SCREENED, FRABLE TOPSOIL FREE OF STONES 1/2" IN DIA. AND LARGER, ROOTS, STICKS, OR OTHER EXTRANEIOUS MATERIAL INCLUDING NOXIOUS PLANTS. PH BETWEEN 6.0 AND 6.5. SALTS 500 PARTS PERM. ORGANIC CONTENT 3% MIN. DO NOT INSTALL TOPSOIL UNTIL APPROVED BY OWNER/C.M. TOPSOIL SHALL BE FINE GRADED TO A SMOOTH FINISH, FREE OF LUMPS AND DEPRESSIONS.
 - 6) ALL LANDSCAPE ISLANDS WITHIN PARKING LOTS SHALL BE BACK FILLED WITH TOPSOIL TO A DEPTH OF 18" MIN.

- IRRIGATION NOTES:**
- 1) ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATION SYSTEM. THE G.C. SHALL BE RESPONSIBLE FOR RETAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE DESIGN MUST SHOW HOW THE SYSTEM TIES INTO THE BUILDING AND MUST SHOW ALL OF THE NECESSARY EQUIPMENT FOR A COMPLETE SYSTEM. THE G.C. SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

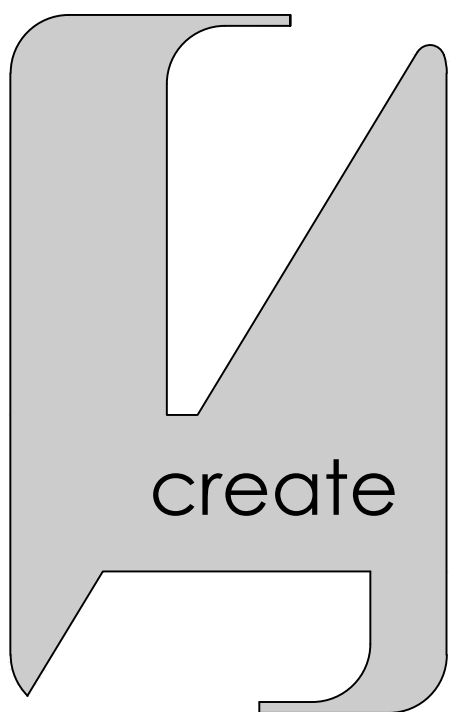
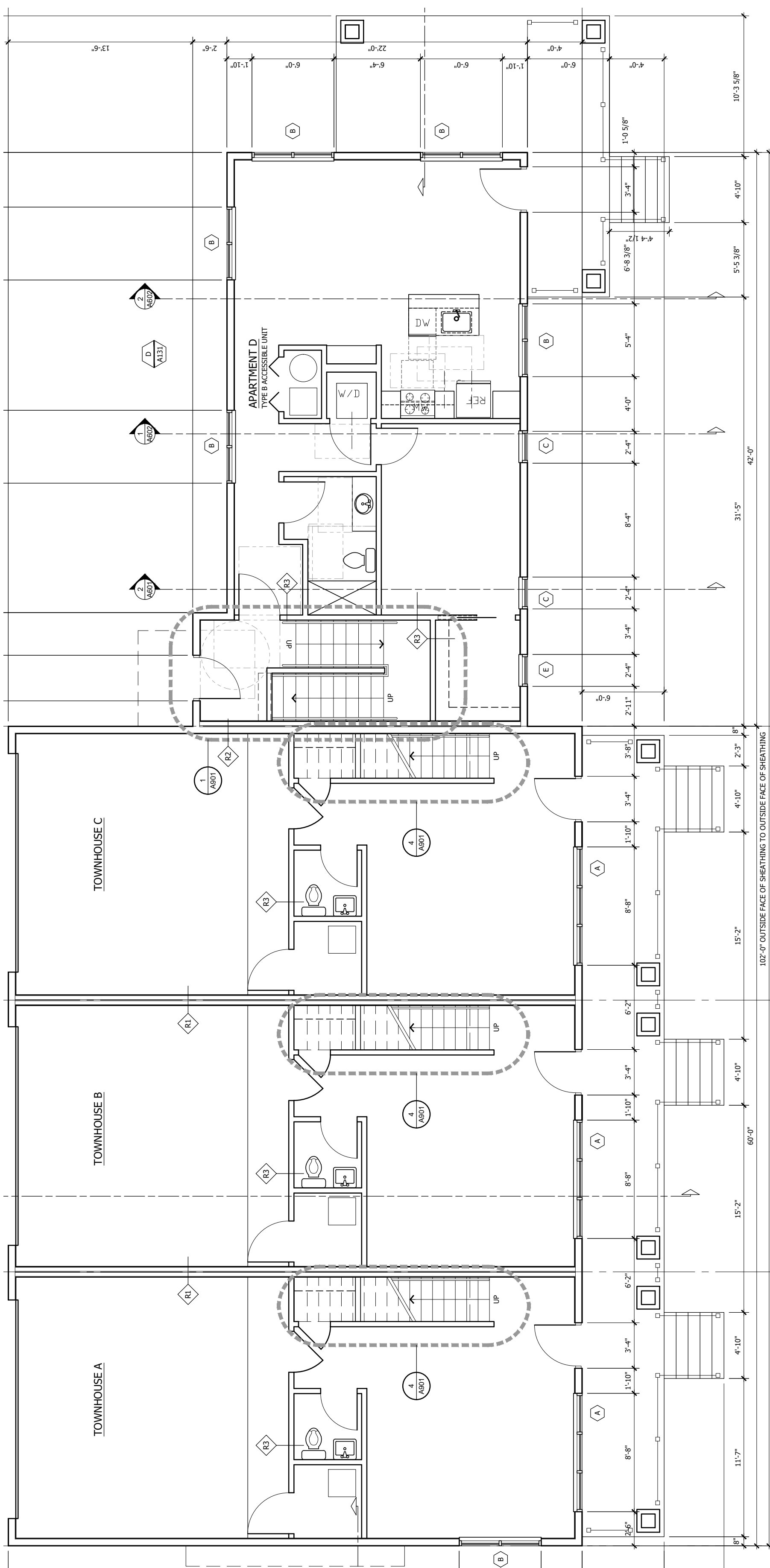
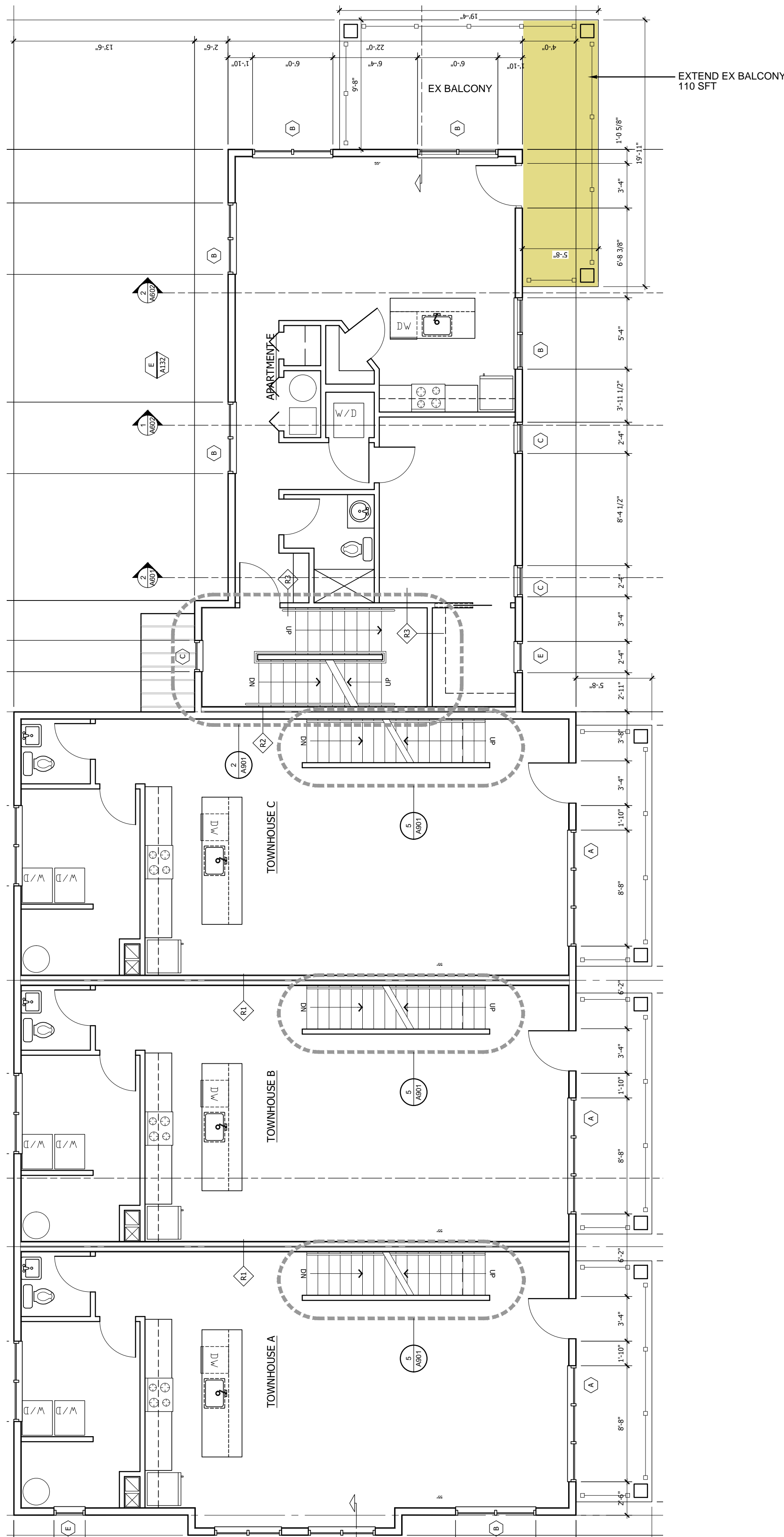
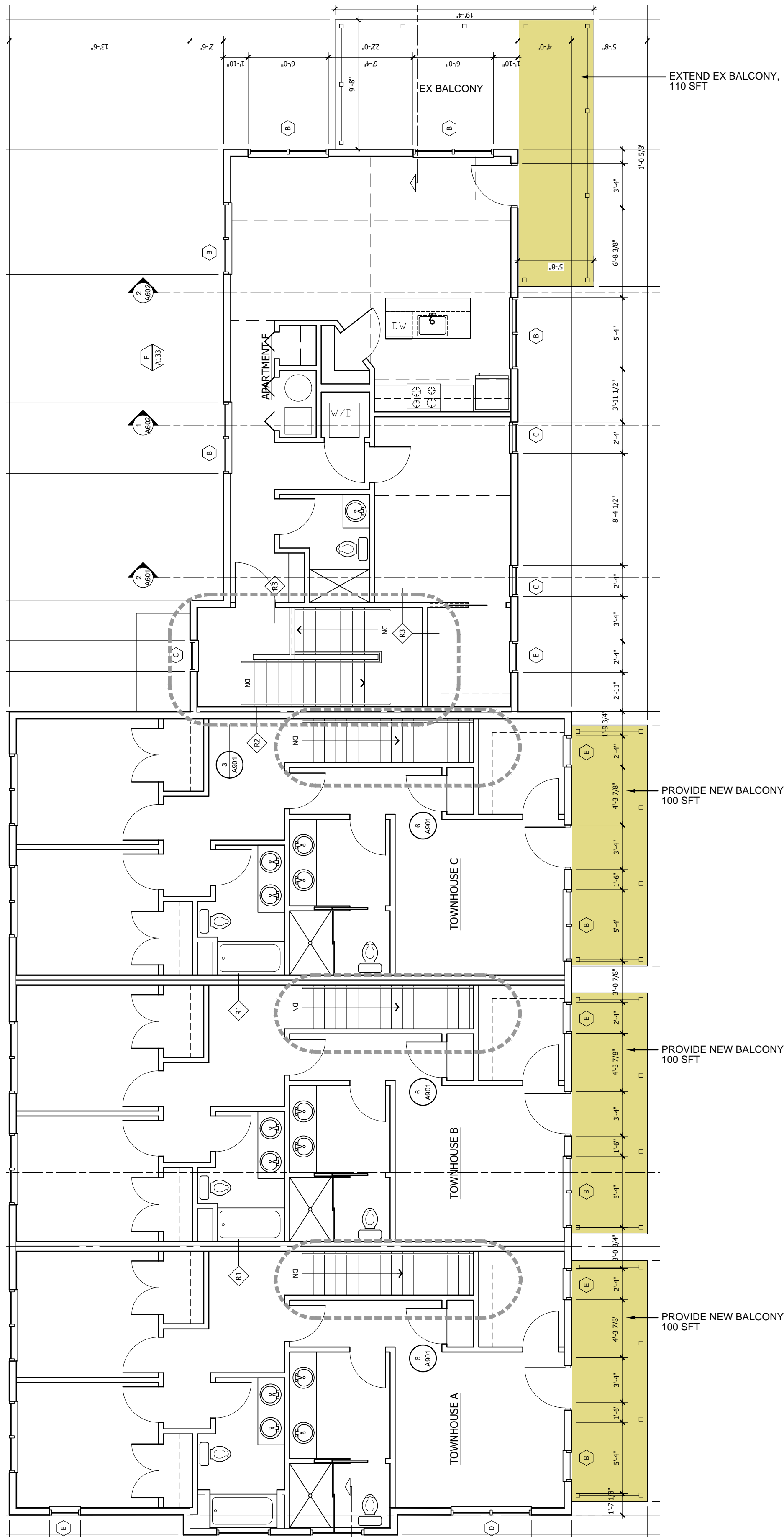
LANDSCAPE CALCULATIONS

REQUIRED LANDSCAPING:	PROPOSED LANDSCAPING:
BUFFER ZONE, SEC.78-705: • NONE REQUIRED, VR ZONE ADJACENT VR ZONE	BUFFER ZONE: • NONE PROPOSED
OFF-STREET PARKING, SEC.78-705: • NONE REQUIRED, <12 SPACES	OFF-STREET PARKING, SEC.78-705: • 1 TREE & SHRUB BUFFER PROPOSED
GREENBELT, SEC.78-705: • NONE REQUIRED, VR NOT LISTED AS REQUIRED ZONE	GREENBELT, SEC.78-705: • SHRUB BUFFER PROPOSED

LANDSCAPE SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Aa	Acer rubrum 'Armstrong'	Armstrong Red Maple	2.5' cal. min.	2
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Bg	Buxus x 'Green Mountain'	Green Mountain Boxwood	24" min.	9
	Sg	Spiraea japonica 'Goldflame'	Goldflame Japanese Spiraea	24" min.	2
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	As	Achnatherum callamagrostis	Silver Spike Grass	#5	9

PROPOSED CHANGES HIGHLIGHTED IN YELLOW



100 GRANDVILLE SW
SUITE 200
GRAND RAPIDS, MI 49503

www.create3architecture.com

NOT FOR
CONSTRUCTION

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CREATE 3, PLLC 2022

DESCRIPTION	DATE
Issuance Name	XXXXXXXXXX

New Multifamily
Development

7369 Thornapple River Dr. SE
Ada Township, Michigan

22-1202

Level 1
Floor Plan

A101

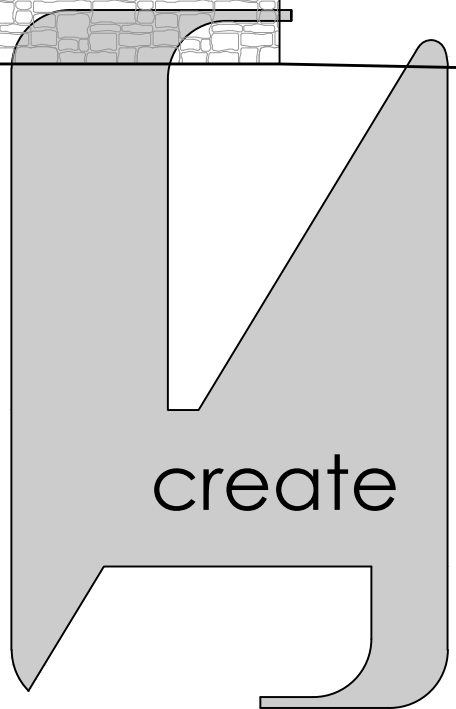
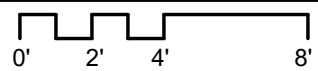


NE Corner View



2. Front (East) Elevation

SCALE: 3/16" = 1'-0"



100 GRANDVILLE SW
SUITE 200
GRAND RAPIDS, MI 49503

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DESCRIPTION	DATE
Issuance Name	XXXX/XXXX

New Multifamily
Development

7369 Thornapple River Dr. SE
Ada Township, Michigan

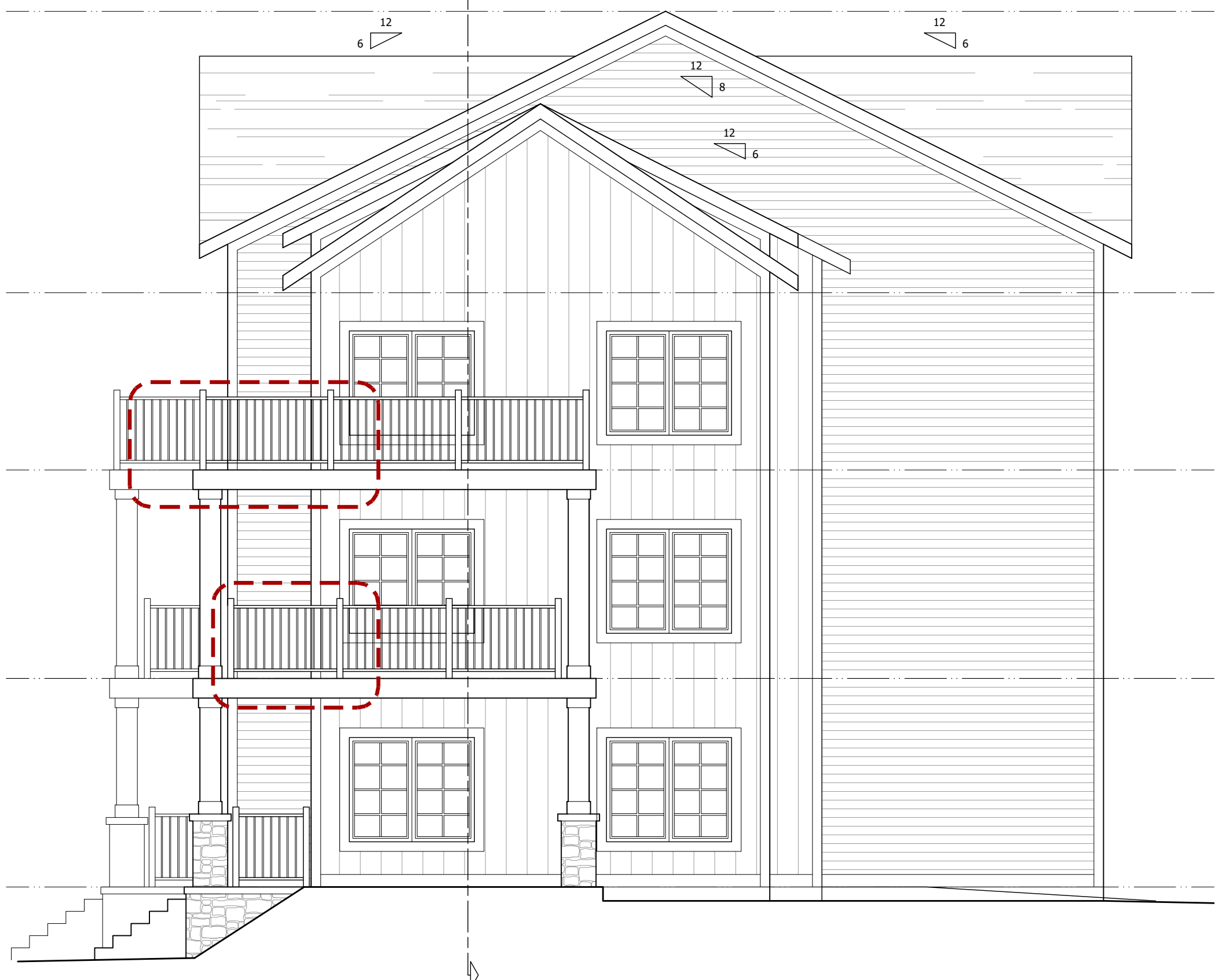
22-1202

Exterior Eelevations

A501

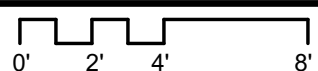


SE Corner View



1. Side (North) Elevation

SCALE: 3/16" = 1'-0"





MEMORANDUM

Date: 03-12-24

TO: Ada Township Planning Commission
FROM: Department of Planning
RE: **March 21, 2024 – Site Plan Approval – Addition & Parking/Maneuvering Area Improvements – 6210 E. Fulton Street (Ada Valley Meats) – Parcel No. 41-15-29-445-001**

Request Overview

Ada Valley Meats is proposing an 8,262 sq. ft. addition to its existing facility for additional processing and storage. The subject site, located at 6210 E. Fulton, is 2.23 acres in area with a long and fairly narrow (*155' in width*) configuration.

The addition is planned to be erected at the southern extent of the current building with it being a continuation of the established east and west sidewalls; the existing western side does not meet current setback requirement of 50 feet.

The Zoning Board of Appeals (ZBA) granted a side yard setback variance of 25 feet from the western property line on December 26, 2023 for the planned addition. Similar variances were approved by the ZBA in 1990, 1996, and 2018 for previous building expansions constructed onsite.

The proposed project also includes the construction an 18,000 sq. ft. parking (16 off-street parking spaces) and truck maneuvering (for docking) area to the south of the building addition, as well as four (4) additional off-street parking spaces along the eastern boundary line of the property.

Conformance with I Industrial Zoning District Standards

With the Zoning Board of Appeals granting a side yard setback variance for the subject addition, the proposed office addition and site improvement project conforms to the dimensional standards of the I Industrial zoning district.

Storm Water Management

Storm drainage/detention is proposed with an underground storage system that will discharge to the drainage course on the south side of the subject site, adjacent to the existing railroad tracks. An overview of the storm sewer/underground storage was submitted; however, the Township's consulting engineer has requested that additional calculations/information be provided indicating conformance with our Storm Water Ordinance.

Utilities

Public water and sewer currently serve the existing building.

Vehicle Access, Parking, and Circulation

Access to the site is from E. Fulton Street. Off-street parking is currently located north of the existing building, as well as along the eastern boundary of the property.

Additionally, as was stated above, the construction of 16 off-street parking spaces (south of the building addition) and four (4) off-street parking spaces (along the eastern boundary line of the property) are planned as part of the subject project.

With the proposed building expansion, a total of 38 off-street parking spaces are required; 59 off-street parking spaces are proposed.

An exception approval is required from the Planning Commission due to the proposed total number of parking spaces provided exceeding the minimum standards by greater than 25 percent.

Landscaping

A landscaping plan has not been submitted, although it has been implied all existing planted and established landscaping material is intended to be retained onsite. The site plan indicates some tree clearing at the rear of the site; however, a substantial natural tree stand will be retained onsite satisfying the buffer zone requirements for the subject property.

One (1) new shade tree and a 150 sq. ft. of landscape area is required to meet parking lot area landscaping requirements of Zoning Ordinance for the 20 additional off-street parking spaces that are planned to be constructed as part of the subject project.

A condition of approval is included requiring the submittal of a landscaping plan, subject to Staff approval.

Site Lighting

There is no indication of site lighting on the plans.

Recommendation

Approval of the site plan is recommended, subject to the following conditions:

1. A storm water permit application shall be submitted and a permit issued by the Township, in compliance with the storm water ordinance, prior to issuance of a building permit and/or construction of any site improvements.
2. Any pole and/or building mounted exterior lighting fixtures shall qualify as "full-cutoff" control of light emission, subject to approval of the Planning Department. Fixture specifications shall be submitted for approval for all lighting fixtures, prior to issuance of a building permit and/or construction of any site improvements.
3. An exception approval from the Planning Commission to allow the proposed total number of parking spaces provided to exceed the minimum standards by greater than 25 percent.
4. Prior to the issuance of any building permit, the applicant shall submit and obtain Staff approval of a landscape plan showing all existing landscaping material, as well as providing one (1) canopy/shade tree and a 150 sq. ft. of landscape area meeting parking lot area landscaping requirements of Zoning Ordinance.



TOWNSHIP

SITE PLAN REVIEW APPLICATION

RECEIVED

FEB 22 2024

PLANNING & ZONING
ADA TOWNSHIP

Applicant: Dan Vos Construction Company

Telephone No: 616-676-9169

Contact Name: Joe Geelhoed

Email: joeg@danvoscc.com

Mailing Address: 6160 E. Fulton, Ada, MI 49301

Property Owner:
(If different than applicant) Dale Roseboom

Telephone No: 616-676-0767

Mailing Address: 6210 E. Fulton Street, Ada, MI 49301

Permanent Parcel No.(s) of subject property:
41 15 29 445 001

Zoning District: Industrial

Address of subject property: 6210 E. Fulton Street, Ada, MI 49301

Name of Project: Ada Valley Meats Building Addition

Type of Project:

- ☐ PVM District Development Plan
☒ Retail, Office, Industrial or other Non-Residential Development
☐ Open Space Preservation Development, Preliminary Plan
☐ Parking Area, 10 or fewer spaces (*Administrative/Staff review)
☐ Accessory Building in Front Yard
- ☐ Site Condominium (fee \$25 per unit +site plan fee)
☐ Open Space Preservation Devel. Final Plan
☐ Parking area, 11 or more spaces
 (*Planning Commission Review)
☐ Other

Summary project description: Construct an 8262 sf building addition on the south side of the existing building. Construct an 18,000 sf parking & truck maneuvering area to the south of the building addition.

This application must be accompanied by the following:

- (1) All items called for by Article XXII of the Zoning Regulations or, for PVM District plan, all items required by Article XX-A.

The undersigned hereby grants permission to Ada Township and its officials and staff to enter upon the subject property for purposes of review and evaluation of this request.

Signature of Applicant: *Joe Geelhoed*

Date: 2/19/24

Signature of Owner, if different than applicant:
or attach letter of consent, signed by owner.

Dale Roseboom

Date: 2-22-24

****APPLICATION FEE: Planning Commission Review \$500.00 - Administrative/Staff Review \$250.00**

TO BE COMPLETED BY ADA TOWNSHIP PLANNING DEPARTMENT

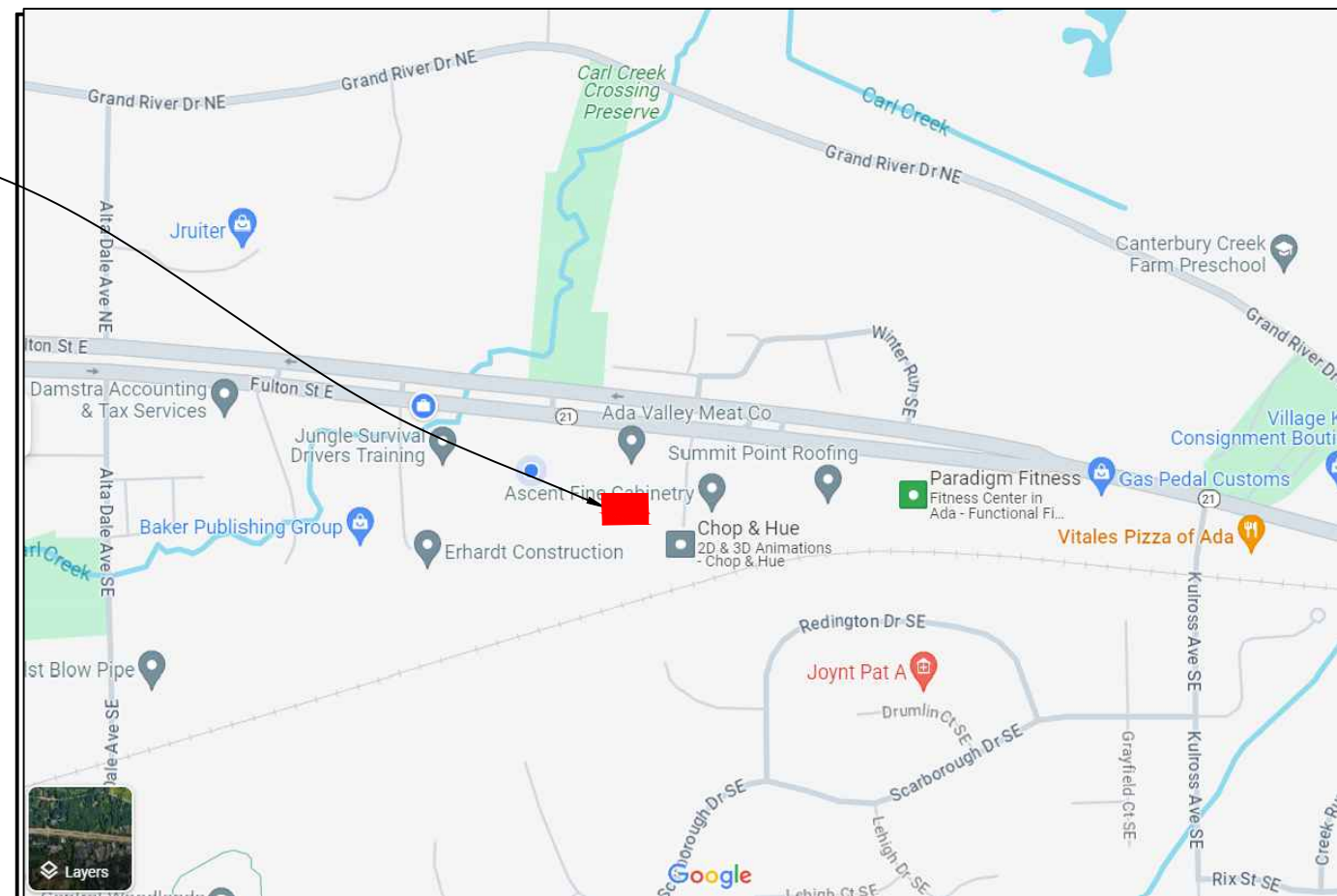
Application received: 2-22-2024 by: eb
mm/dd/yy

Application fee of \$ 500.00 received 2/26/24 by EB Check # 126904 Receipt # 364794
mm/dd/yy Dan Vos Const.

Escrow deposit of \$ 1000.00 received 2/26/24 by EB Check # 126921 Receipt # 364795
mm/dd/yy Dan Vos Const.

Updated 10/17/2023

(f:/users/planzone/app&forms/app templates/siteplan review app)



LOCATION MAP
NOT TO SCALE

GENERAL NOTES:

- PARCEL INFORMATION**
CURRENT ZONING: I - INDUSTRIAL
SITE ADDRESS: 6210 FULTON ST. EAST
PARCEL NUMBER: 41-15-29-445-001

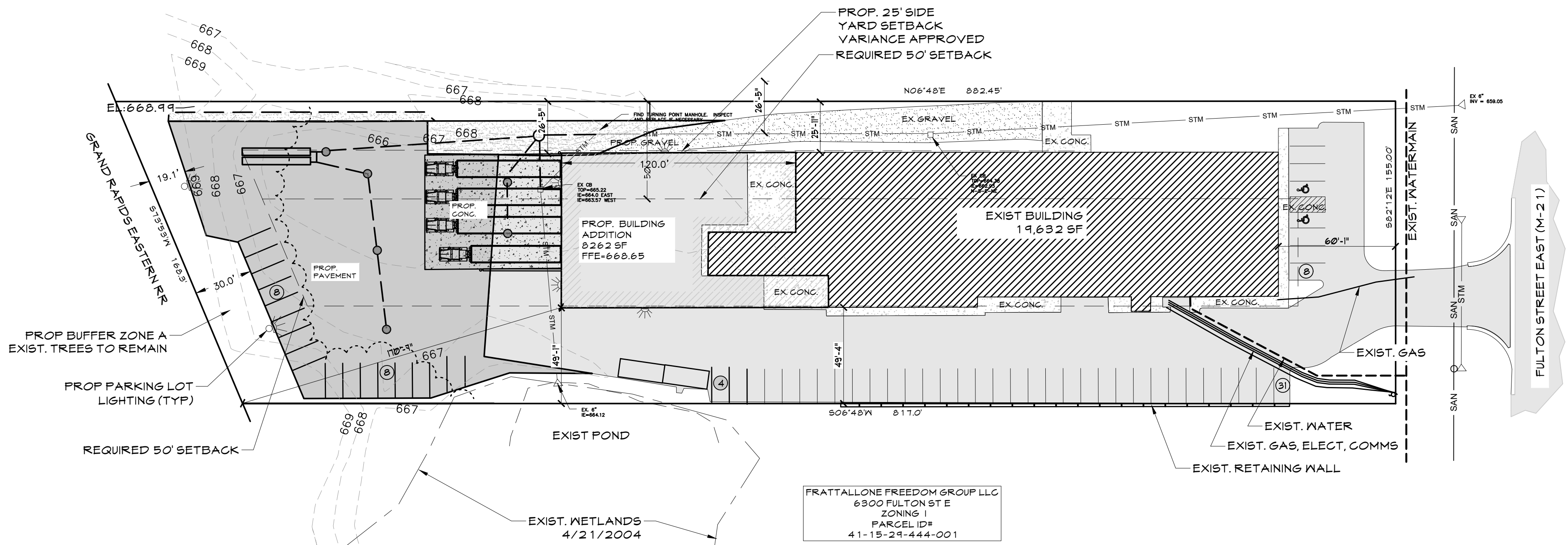
	REQUIRED	PROVIDED
MIN. LAND AREA:	40,000 SF	91,416 SF
MIN. LOT WIDTH:	200 FT	155 FT
- BUILDING**

	REQUIRED	PROVIDED
MAX. BUILDING HEIGHT:	45 FT	30 FT
MAX. BUILDING SIZE:	N/A	N/A
MAX. LOT COVERAGE:	N/A	N/A
- SETBACKS**

	MIN REQUIRED	PROVIDED
FRONT (NORTH)	50 FT	60 FT
SIDE (EAST/WEST)	50 FT	49 FT EAST/25' WEST
REAR (SOUTH)	50 FT	160 FT
- REGULATORY APPROVALS**
THE PROJECT WILL REQUIRE THE FOLLOWING APPROVALS, AT A MINIMUM (OTHER PERMITS/APPROVAL MAY ALSO BE REQUIRED)
 - ADA TWP SITE PLAN
 - ADA TWP VARIANCE - APPROVED SIDE YARD VARIANCE
 - ADA TWP FIRE DEPARTMENT
 - ADA TWP STORMWATER
 - SOIL EROSION & SEDIMENTATION CONTROL (KCDG)
- PARKING**
 - EXISTING OFFICE - 3239 SF X 1 SPACE/300 SF = 11 SPACES
 - EXISTING INDUSTRIAL - 17,515 SF X 1 SPACE/1000SF = 18 SPACES
 - NEW INDUSTRIAL - 8262 SF X 1 SPACE/1000 SF = 9 SPACES
 - TOTAL REQD = 38 SPACES
 - EXISTING SPACES - 39 SPACES
 - PROPOSED SPACES - 20 SPACES
 - TOTAL PROPOSED SPACES = 59 SPACES
- STORM WATER MANAGEMENT**
STORM WATER WILL BE COLLECTED IN A SERIES OF CATCH BASINS AND PIPES AND ROUTED TO NEW UNDERGROUND DETENTION. THE UNDERGROUND DETENTION WILL DISCHARGE BOTH TO THE NORTHWEST INTO AN EXISTING STORM SEWER DRAINING TO M-21 AND LEACH TO GROUNDWATER. PERCENT IMPERVIOUS (BUILDING/PAVT) = 81.5 %
- WATER/SEWER SERVICE**
SITE IS SERVED WITH WATER AND SEWER CONNECTED TO EXISTING PUBLIC UTILITIES ALONG M-21.
- WETLANDS**
THERE ARE KNOWN REGULATED WETLANDS (POND) ON THE PROPERTY TO THE EAST.
- FLOODPLAINS**
THERE ARE NO KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY.
- SITE LIGHTING**
PROPOSED LIGHTING WILL BE WITH SHIELDED LIGHT FIXTURES SHOWN ON THE PHOTOMETRIC PLAN. LIGHTING WILL BE CONSISTENT WITH OTHER USES AND WILL COMPLY WITH ORDINANCE REQUIREMENTS.
- LOADING/UNLOADING OPERATIONS**
LOADING AREAS ARE AT TRUCK DOCKS ON THE SOUTH WALL AND ANOVERHEAD DOOR LOCATED ON THE EAST SIDE OF THE BUILDING.

PROPOSED LEGEND

- ⊕ PROP. STORM CB
- ⊞ PROP. STORM CB
- ST — PROP. STORM SEWER
- - - - PROP. FLOWLINE
- ▒ PROP. HMA PAVEMENT
- ▒ PROP. BUILDING EXPANSION
- ▒ EXISTING BUILDING
- ⊙ PROPOSED RIPRAP
- ▒ PROP. CONC PAVEMENT
- ▒ EX. CONC PAVEMENT
- PROPERTY LINE
- X — X — PROP. FENCE
- ⊙ PARKING COUNT



LEGAL DESCRIPTION

That part of the Southeast 1/4 of Section 29, Twpn 7 North, Range 10 West, Ada Township, commencing 1,517.2 feet South 83 degrees 12 minutes East along the centerline of existing Highway M-21, from the North and South 1/4 line of said section; thence South 83 degrees 12 minutes East 155.0 feet on said centerline; thence South 06 degrees 48 minutes West 817 feet to the North line of the Grand Trunk Railroad right of way; thence South 73 degrees 53 minutes West 1,683 feet along said right of way line to the intersection of a line bearing South 06 degrees 48 minutes West from the point of beginning; thence North 06 degrees 48 minutes East 882.45 feet to place of beginning except the Northerly 225 feet for highway purposes.

PROPERTY OWNER:
ADA VALLEY MEATS
6210 FULTON ST. EAST
ADA, MI 49301
DALE ROSEBOOM
616-676-0767
DALE@ADAVALLEY.COM

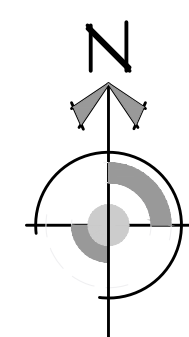
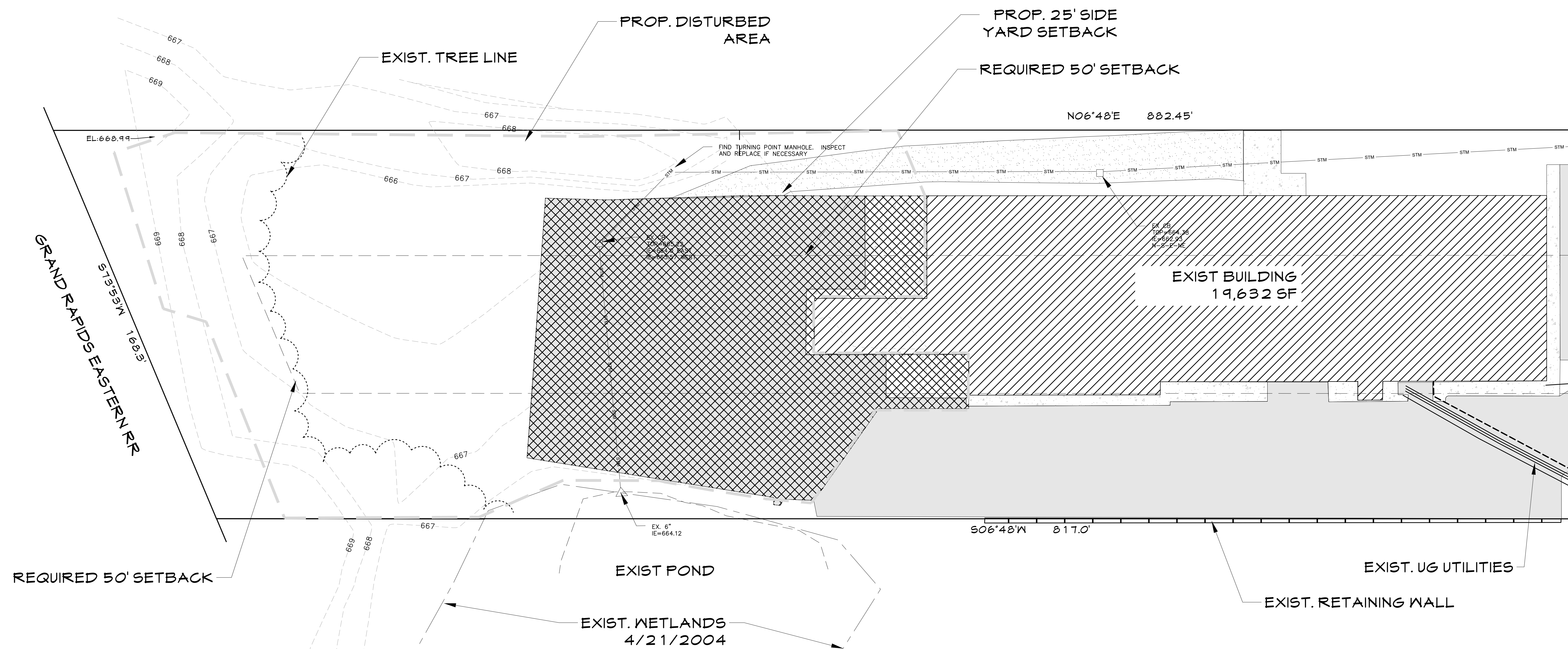
APPLICANT & PREPARER:
JOSEPH L. GEELHOED, P.E.
DAN VOS CONSTRUCTION CO.
6160 E. FULTON, PO BOX 189
ADA, MI 49301
616-262-5387
JOEG@DANVOSCC.COM

ISSUED FOR:
2/22/2024 SITE
PLAN REVIEW

DRAWN:

PROJECT #:

COPYRIGHT 2024 DAN VOS DESIGN, LLC. ALL DRAWN & WRITTEN INFORMATION APPEARING HEREIN SHALL NOT BE DUPLICATED, DISCLOSED, OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF DAN T. VOS, PRESIDENT.



EXISTING TOPO & SITE DEMO

SCALE: 1" = 20'

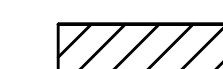


Know what's **below**.
Call before you dig.

DEMO LEGEND:



REMOVE EX. HMA



EXISTING BUILDING



TREE REMOVAL



SOIL BORING LOCATION



CLEARING LIMITS

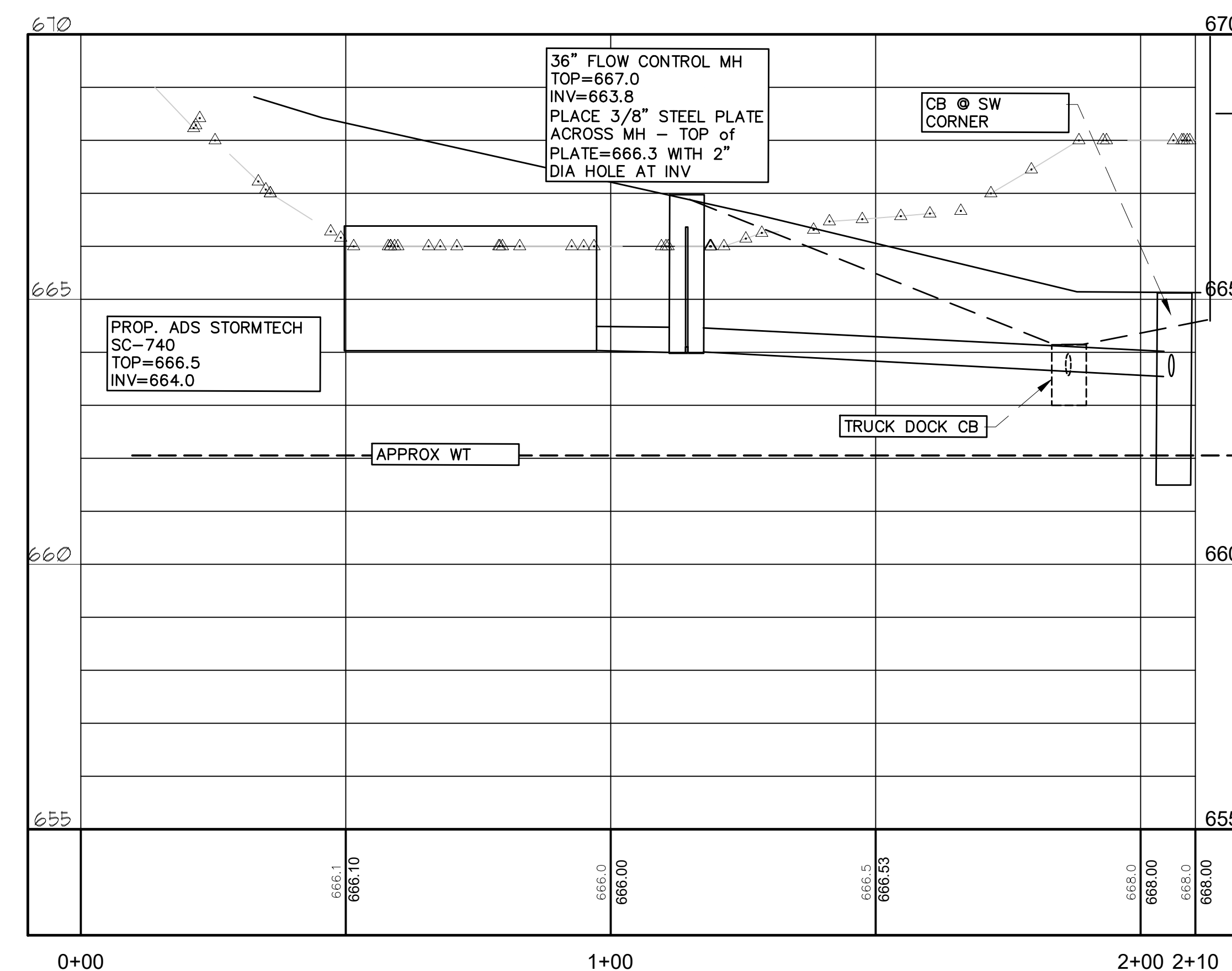
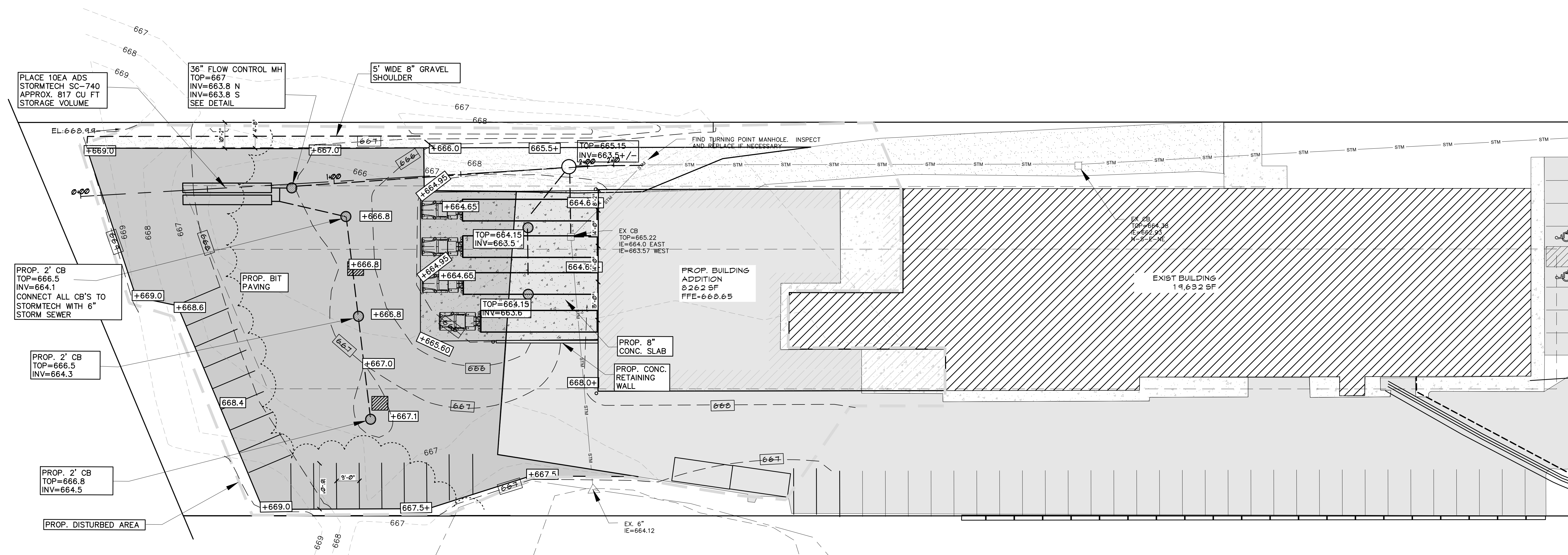


REMOVAL ITEM



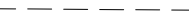








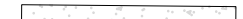


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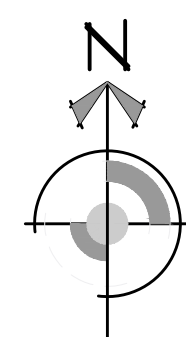


PROPOSED LEGEND

- | | |
|---|--------------------------|
|  | PROP. STORM CB |
|  | PROP. STORM CB |
|  | PROP. STORM, SEWER |
|  | PROP. FLOWLINE |
|  | PROP. HMA PAVEMENT |
|  | PROP. BUILDING EXPANSION |
|  | EXISTING BUILDING |
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|  | PROP. CONG. PAVEMENT |
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SITE LAYOUT PLAN

SCALE: 1" = 20'-0"



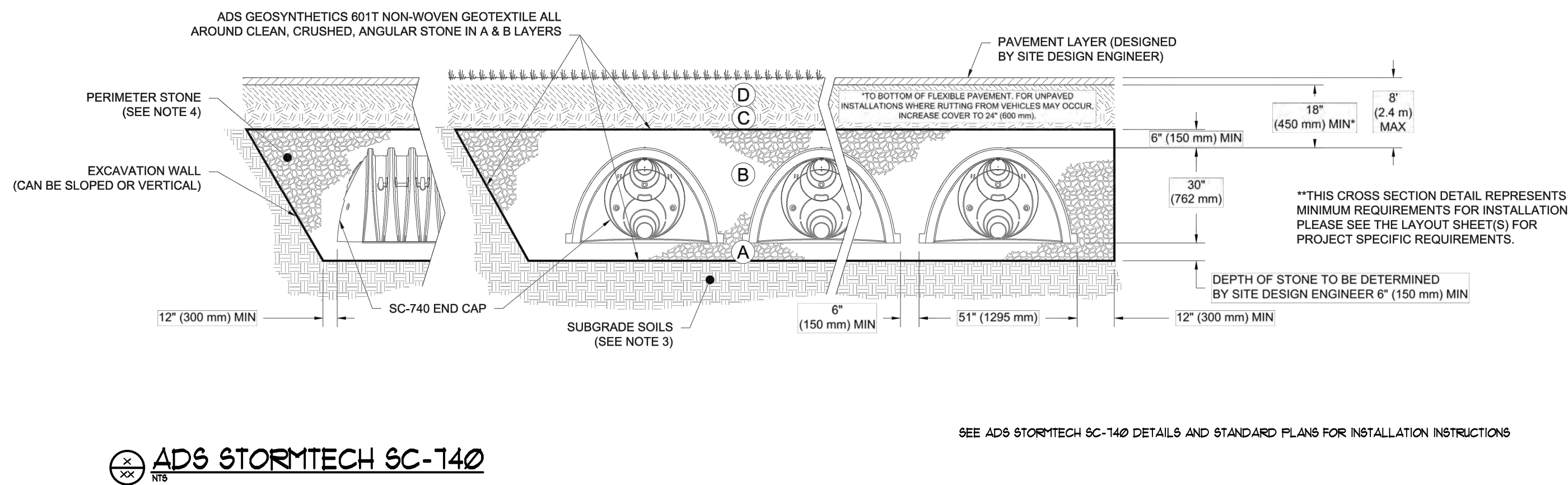
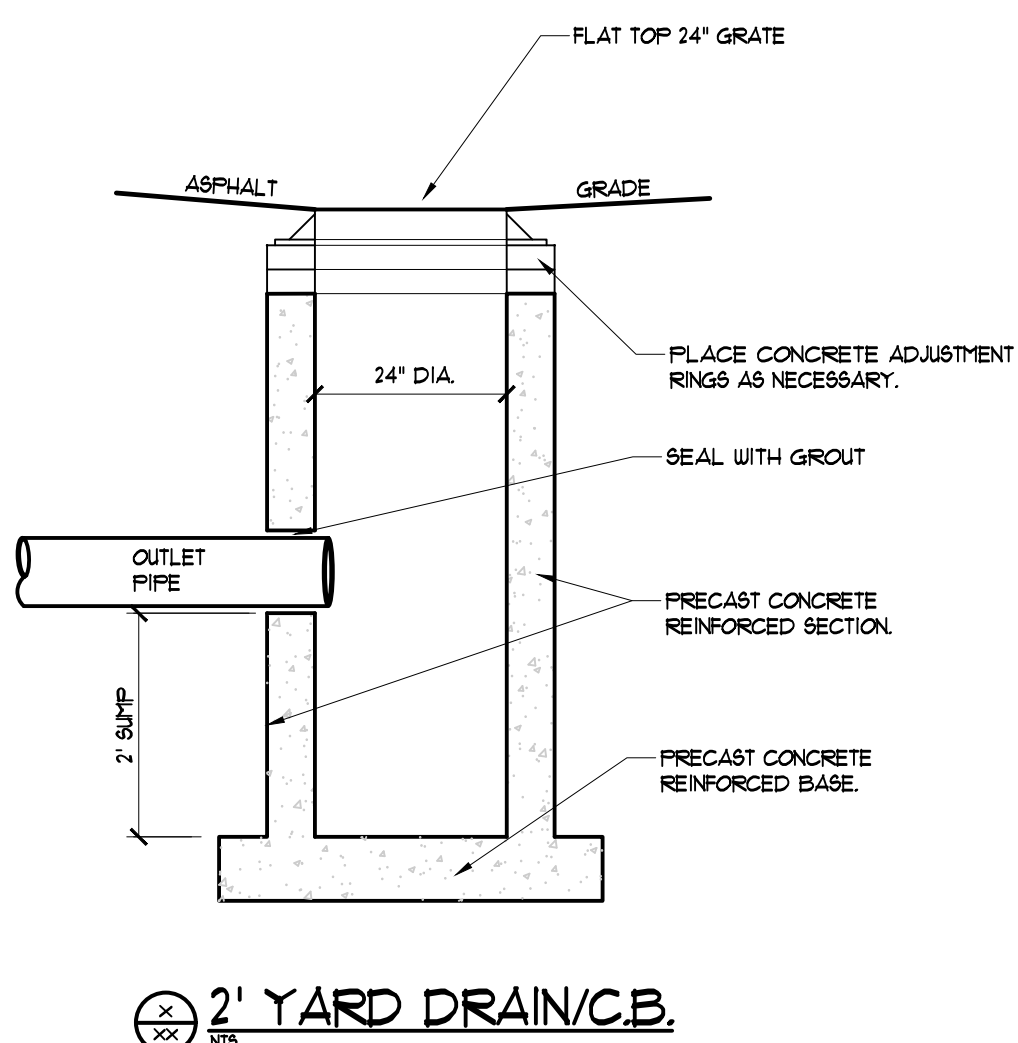
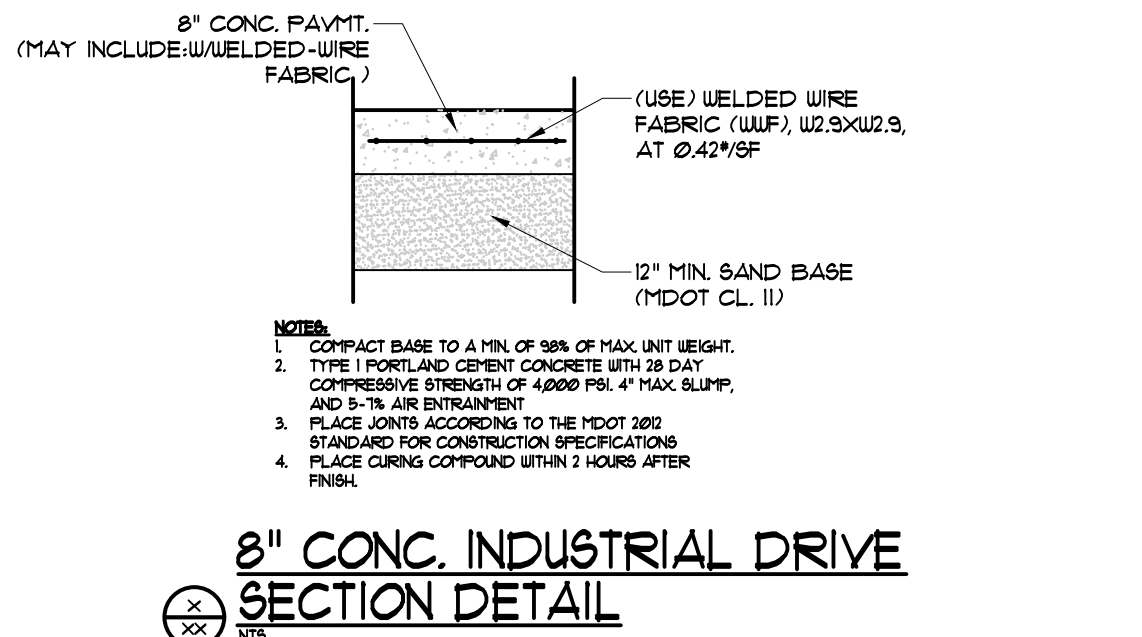
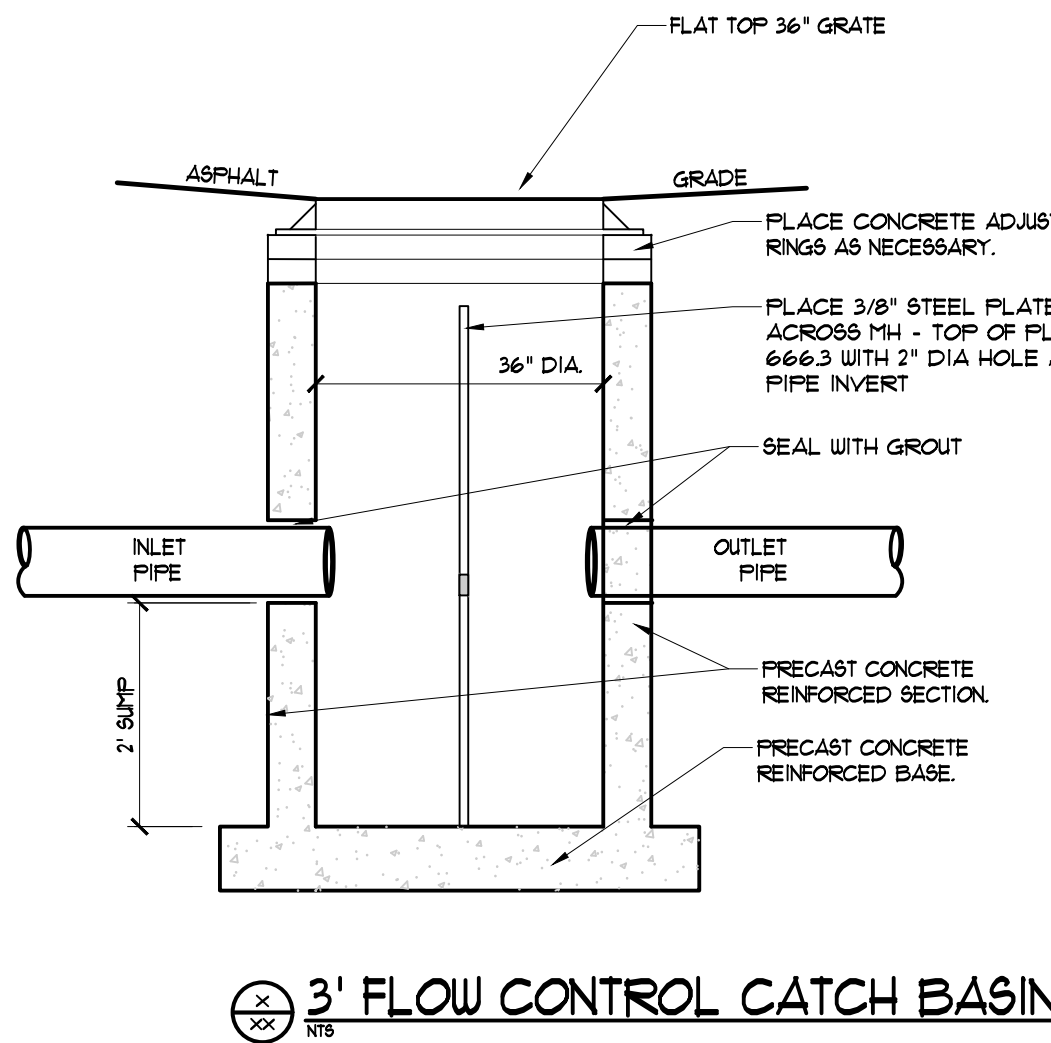
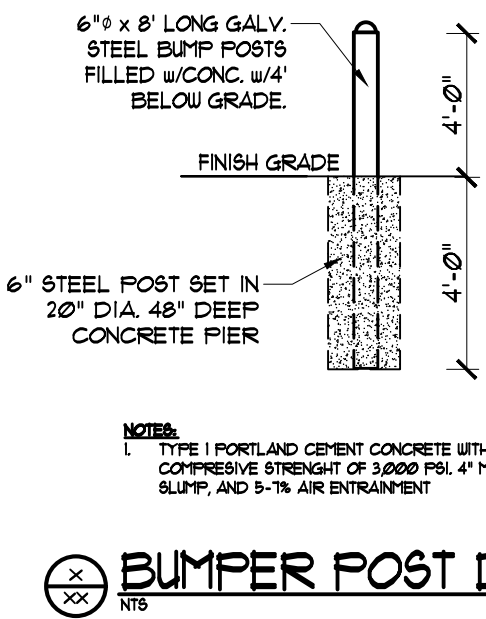
Know what's **below**.
Call before you dig.

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
2. THE OWNER WILL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FOR THE PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE FAMILIAR WITH THE APPLICABLE PROVISIONS OF EACH PERMIT AS THEY APPLY TO THE WORK PRIOR TO BIDDING AND ABIDE BY THOSE PROVISIONS DURING CONSTRUCTION. COPIES OF ALL OBTAINED PERMITS ARE AVAILABLE FOR REVIEW FROM THE OWNER.
3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY RIGHTS OF WAY AND EASEMENTS. THE CONTRACTOR SHALL VERIFY THAT THE NECESSARY EASEMENTS HAVE BEEN SECURED BY THE OWNER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE FAMILIAR WITH THE APPLICABLE PROVISIONS OF EACH EASEMENT AS THEY APPLY TO THE WORK PRIOR TO BIDDING AND ABIDE BY THOSE PROVISIONS DURING CONSTRUCTION. COPIES OF ANY SUCH RIGHTS-OF-WAY AND EASEMENTS ARE AVAILABLE FOR REVIEW FROM THE OWNER.
4. THE CONTRACTOR SHALL ABIDE BY ANY AND ALL STATE AND FEDERAL RULES AS THEY PERTAIN TO THE PLACEMENT OF FILL WITHIN AND ADJACENT TO METLAND AREAS.
5. THE CONTRACTOR SHALL INSTALL AND MAINTAIN TRAFFIC CONTROL DEVICES AS NECESSARY AND IN A MANNER CONSISTENT WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND MDOT STANDARD PLANS AND RULES.
6. BELOW GRADE UTILITY INFORMATION IS BASED ON RECORD DRAWINGS. LOCATION OF PUBLIC UTILITIES SHOWN IS ONLY APPROXIMATE AND MAY NOT BE COMPLETE. PRIVATE UNDERGROUND UTILITIES SUCH AS BUT NOT LIMITED TO SEWER LINES, WATER LINES AND BURIED ELECTRICAL SERVICE ENTRANCES ARE NOT SHOWN.
7. THE CONTRACTOR SHALL ASCERTAIN THE LOCATION AND SIZE OF EXISTING UTILITIES IN THE FIELD WITHIN THE RESPECTIVE UTILITY COMPANY REPRESENTATIVE PRIOR TO COMMENCING WORK. CONTRACTOR SHALL CALL 811 AT LEAST 3 WORKING DAYS BEFORE DIGGING. ADDITIONAL TEST PITS, BEYOND THOSE SHOWN MAY BE REQUIRED. UTILITY CONTACTS ARE AS FOLLOWS: ELECTRIC - CONSUMERS ENERGY, SEWER & WATER - ADA TOWNSHIP, GAS - DTE ENERGY.
8. ADJUSTMENTS OF ALL UTILITY STRUCTURES WILL BE PERFORMED BY THE APPROPRIATE UTILITY OR ITS AUTHORIZED REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY RELOCATION AND INSTALLATION WITH THE APPROPRIATE UTILITY.
9. ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION ARE TO REMAIN IN SERVICE UNLESS OTHERWISE NOTED. AT NO ADDITIONAL COST TO THE OWNER, THE CONTRACTOR SHALL REPAIR OR COORDINATE WITH THE RESPECTIVE UTILITY ON DAMAGE TO EXISTING UTILITIES.
10. IN THOSE INSTANCES WHERE POWER OR TELEPHONE POLE SUPPORT IS REQUIRED, THE CONTRACTOR SHALL PROVIDE A MINIMUM 48 HOUR NOTIFICATION TO POWER COMPANY. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR TEMPORARY BRACING OF UTILITIES.
11. EXISTING SIGNS IMPACTED BY THIS PROJECT SHALL BE RESET AT NO ADDITIONAL COST TO THE OWNER. PLACEMENT SHALL CONFORM TO THE REQUIREMENTS OF MDOT.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF EROSION. ALL DISTURBED EARTH SURFACES ARE TO BE STABILIZED IN THE SHORTEST PRACTICAL TIME AND TEMPORARY EROSION CONTROL DEVICES SHALL BE EMPLOYED UNTIL SUCH TIME AS ADEQUATE SOIL STABILIZATION HAS BEEN ACHIEVED. TEMPORARY STORAGE OF EXCAVATED MATERIAL IS TO BE IN A MANNER THAT WILL MINIMIZE EROSION. MATERIALS AND METHODS USED FOR TEMPORARY EROSION CONTROL SHALL BE AS SPECIFIED ON THE CONSTRUCTION PLANS. BEST MANAGEMENT PRACTICES SHALL BE USED TO ADDRESS ANY OBSERVED EROSION OR SEDIMENTATION PROBLEMS.
13. CONTRACTOR SHALL MINIMIZE CLEARING OPERATIONS. ALL TREES, GRUBBINGS AND STUMP MATERIALS ARE THE PROPERTY OF THE CONTRACTOR AND WILL BE DISPOSED OF AT A SITE PROVIDED BY CONTRACTOR IN COMPLIANCE WITH ALL STATE AND LOCAL LAWS.
14. ALL DISTURBED AREAS ARE TO BE RESTORED WITH MINIMUM 4" TOPSOIL, FERTILIZER, SEED AND STRAW MULCH. CONTRACTOR SHALL OBTAIN ENGINEER'S APPROVAL OF ANY OFF-SITE TOPSOIL SOURCE. ANY FERTILIZER OR LIME APPLICATION IS NOT TO BE DONE WITHOUT OWNER APPROVAL.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION MATERIAL UNSUITABLE MATERIAL, EXCESS MATERIAL, AND COLLECTED SEDIMENT IN ACCORDANCE WITH ALL STATE LAWS AND LOCAL LAWS.
16. CONTRACTOR SHALL CONTROL DUST ON THE CONSTRUCTION SITE TO AN ACCEPTABLE LIMIT, AS DETERMINED BY THE ENGINEER.
17. CONTRACTOR SHALL NOT TRACK OR SPILL EARTH, DEBRIS OR OTHER CONSTRUCTION MATERIAL ON PUBLIC OR PRIVATE STREETS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE ASSOCIATED CLEAN UP.
18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS AND EXCESS EXCAVATED MATERIAL FROM WITHIN THE CONSTRUCTION LIMIT OF WORK, TO A SUITABLE SITE PROVIDED BY THE CONTRACTOR, IN COMPLIANCE WITH ALL STATE AND LOCAL REGULATIONS.
19. CONTRACTOR SHALL REMOVE AND REPLACE OR REPAIR, ALL OTHER ITEMS DAMAGED BY HIS CONSTRUCTION ACTIVITIES TO AT LEAST THEIR ORIGINAL CONDITION, TO THE SATISFACTION OF THE OWNER AND ENGINEER.
20. SUITABLE EXCAVATED MATERIALS MAY BE INCORPORATED INTO THE PROJECT. THE OWNER HAS THE RIGHT OF FIRST REFUSAL OF ALL EXCESS SUITABLE MATERIAL FROM THE PROJECT. THIS DAMAGE TO SUITABLE MATERIALS SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE AND DISPOSE OF ANY MATERIAL DETERMINED BY THE ENGINEER TO BE UNSUITABLE FOR BACKFILLING OR EXCESS SUITABLE MATERIAL UNWANTED BY THE OWNER.
21. REFER TO DETAILS FOR PIPE AND STRUCTURE BEDDING AND BACKFILL REQUIREMENTS.
22. ALL STRUCTURES AND PIPELINES LOCATED ADJACENT TO ANY TRENCH EXCAVATION SHALL BE PROTECTED AND FIRMLY SUPPORTED BY THE CONTRACTOR UNTIL THE TRENCH IS BACKFILLED. DAMAGE TO STRUCTURES OR PIPELINES CAUSED BY OR RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

THE PLANS HAVE BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION.

THE PROPOSED LOCATIONS OF SILTATION AND EROSION CONTROL STRUCTURES AND MEASURES ARE SHOWN ON THE PLANS.

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH THE MICHIGAN ELSN EPS BMP MANUAL.
2. THOSE AREAS UNDERGOING ACTIVE CONSTRUCTION SHALL BE MAINTAINED IN AN UNTREATED OR UNVEGETATED CONDITION FOR THE MINIMUM TIME REQUIRED. IN GENERAL, AREAS TO BE VEGETATED SHALL BE TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL AND PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING.
3. SEDIMENT BARRIERS (SILT FENCE, STONE, CHECK DAMS, SEDIMENT TUBES, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF UP GRADIENT DRAINAGE AREAS.
4. INSTALL SILT FENCE AT TOE OF SLOPES TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT. A INSPECTION LOG SHALL BE MAINTAINED WITH REPORTS. SESS MEASURES SHALL BE REPAIRED AND/OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN THREE HORIZONTAL TO ONE VERTICAL (3 TO 1) UNLESS STABILIZED WITH MULCH BLANKET OR OTHER STRUCTURAL MEANS.
7. IF FINAL SEEDING AND SODDING IS NOT EXPECTED PRIOR TO THE ANTICIPATED DATE OF THE FIRST KILLING FROST, USE TEMPORARY ANNUAL RYEGRASS SEEDING AND MULCHING ON ROUGH GRADED SUBSOIL TO PROTECT THE SITE AND DELAY PERMANENT TOPSOILING, FINE GRADING, AND SEEDING OR SODDING UNTIL SPRING.
8. WHEN FEASIBLE, TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINISH GRADED SHALL BE COMPLETED 30 DAYS PRIOR TO THE FIRST KILLING FROST.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED INTO OPEN AREAS. POST SEEDING SEDIMENT, IF ANY, WILL BE DISPOSED OF IN AN ACCEPTABLE MANNER.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SHOULDERED, AND VEGETATED. ALL UPLAND AND DISTURBED AREAS ARE TO BE RESTORED WITH A MINIMUM 5" TOPSOIL AND HYDROSEED. ALL WETLAND AREAS SHALL BE RESTORED WITH NATIVE TOPSOIL, SALVAGED FROM THE WETLAND AND SEEDED WITH AN APPROPRIATE WETLAND PLANT SEED MIXTURE.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.



SEE ADS STORMTECH SC-740 DETAILS AND STANDARD PLANS FOR INSTALLATION INSTRUCTIONS.



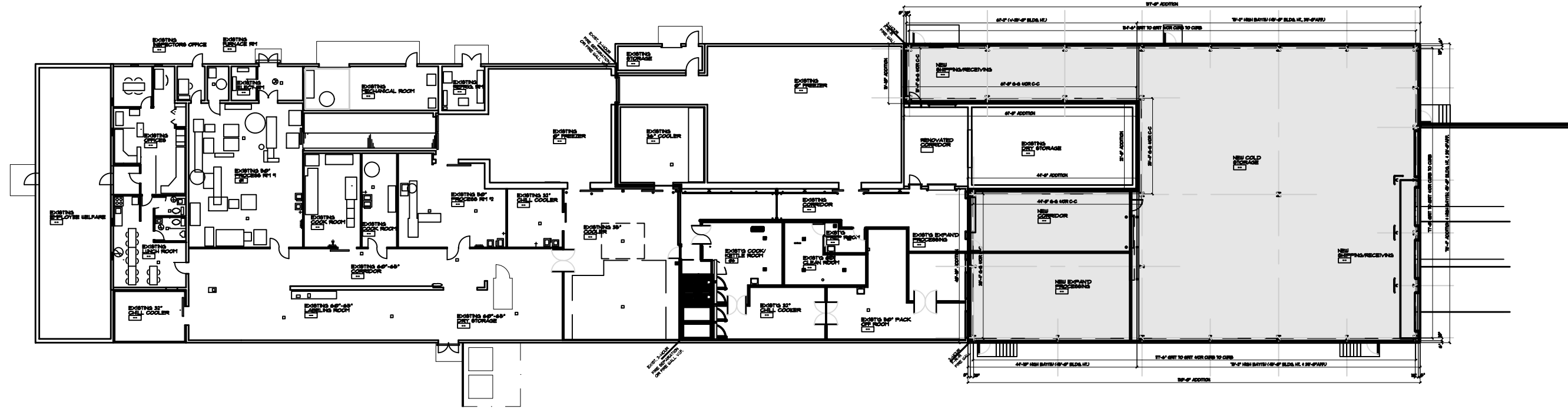
PROPERTY OWNER:
ADA VALLEY MEATS
6210 FULTON ST. EAST
ADA, MI 49301
DALE ROSEBOOM
616-676-0767
DALE@ADAVALLEY.COM

APPLICANT & PREPARER:
JOSEPH L. GEELHOED, P.E.
DAN VOS CONSTRUCTION CO.
6160 E. FULTON, PO BOX 189
ADA, MI 49301
616-262-5387
JOEG@DANVOSCC.COM

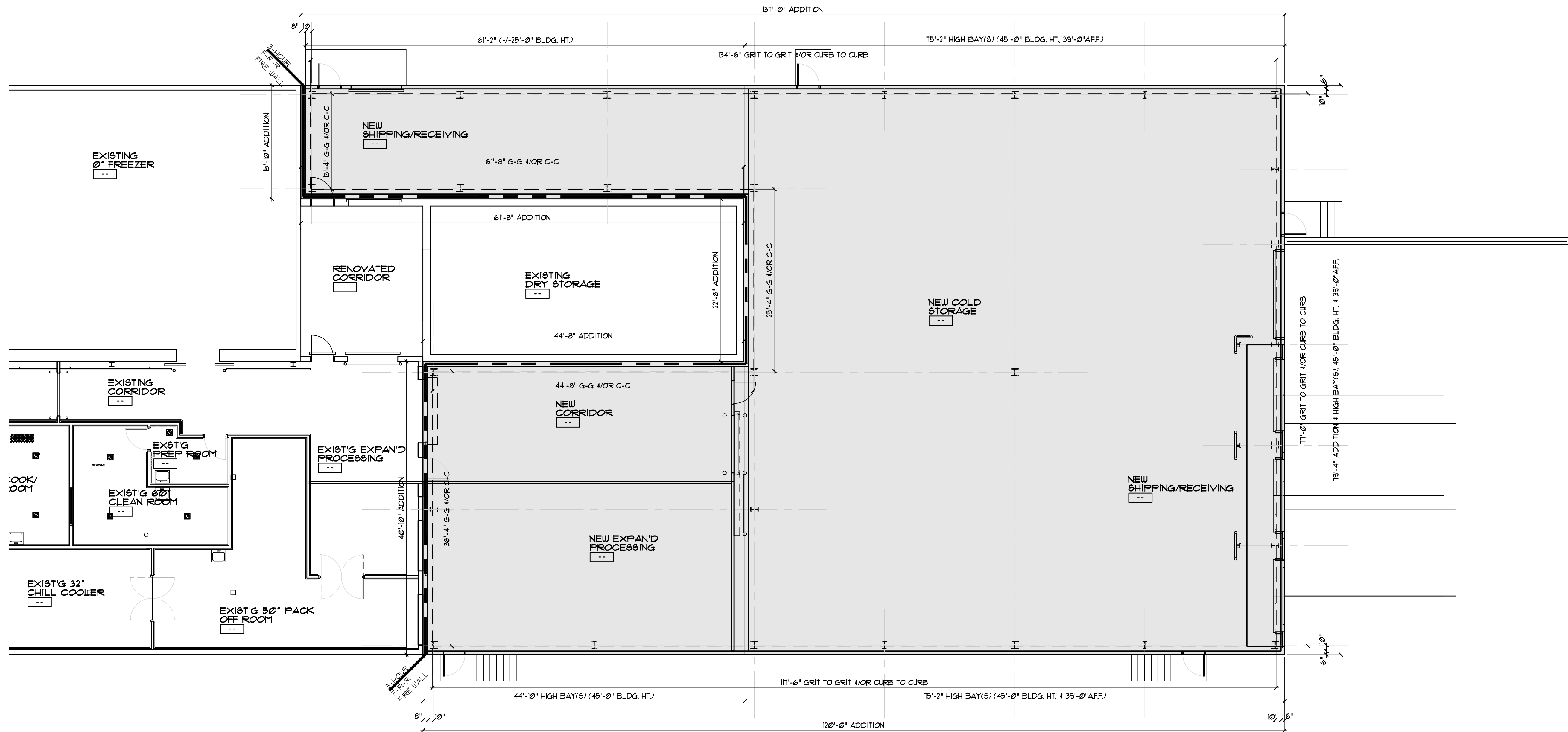
PROJECT #:

C4

22 February 2024, 11:26 AM MARK SCOBELL, E:\Pre-Construction Projects\Ada Valley Meat Co\Ada Site Analysis\Design\Internal\Drawings\CAD\24-2-19_AVMC_BASE FLR PLAN_Current



SCHEMATIC OVERALL
EXISTING BUILDING W/ PROCESS
BUILDING ADDITION FLOOR PLAN
SCALE: 1"=30'-0"



SCHEMATIC ENLARGED
PROCESS BUILDING ADDITION
BASE FLOOR PLAN
SCALE: 1/8" = 1'-0"
FIN. FLR. ELEV.: 100'-0" (668.65')
PROCESS ADDITION: 8,262 GSF / 8,002 GFA



6160 E FULTON | ADA, MI 49301
616.676.9169
DANVOSCONSTRUCTION.COM

DESIGN | BUILD

ARCHITECTURAL SERVICES

CIVIL ENGINEERING

GENERAL CONTRACTING

CONSTRUCTION MANAGEMENT

STEEL SERVICES

FACILITY SERVICES

PROPOSED PROCESSING BUILDING ADDITION FOR:

ADA VALLEY MEAT CO.

ADA, MICHIGAN 49301

6210 EAST FULTON

ISSUED FOR:
1-8-2024 BASE FLOOR FOR
OWNER'S USE FOR
PROCESS LAYOUT INFO.
2-22-24 SITE PLAN REVIEW INFO.

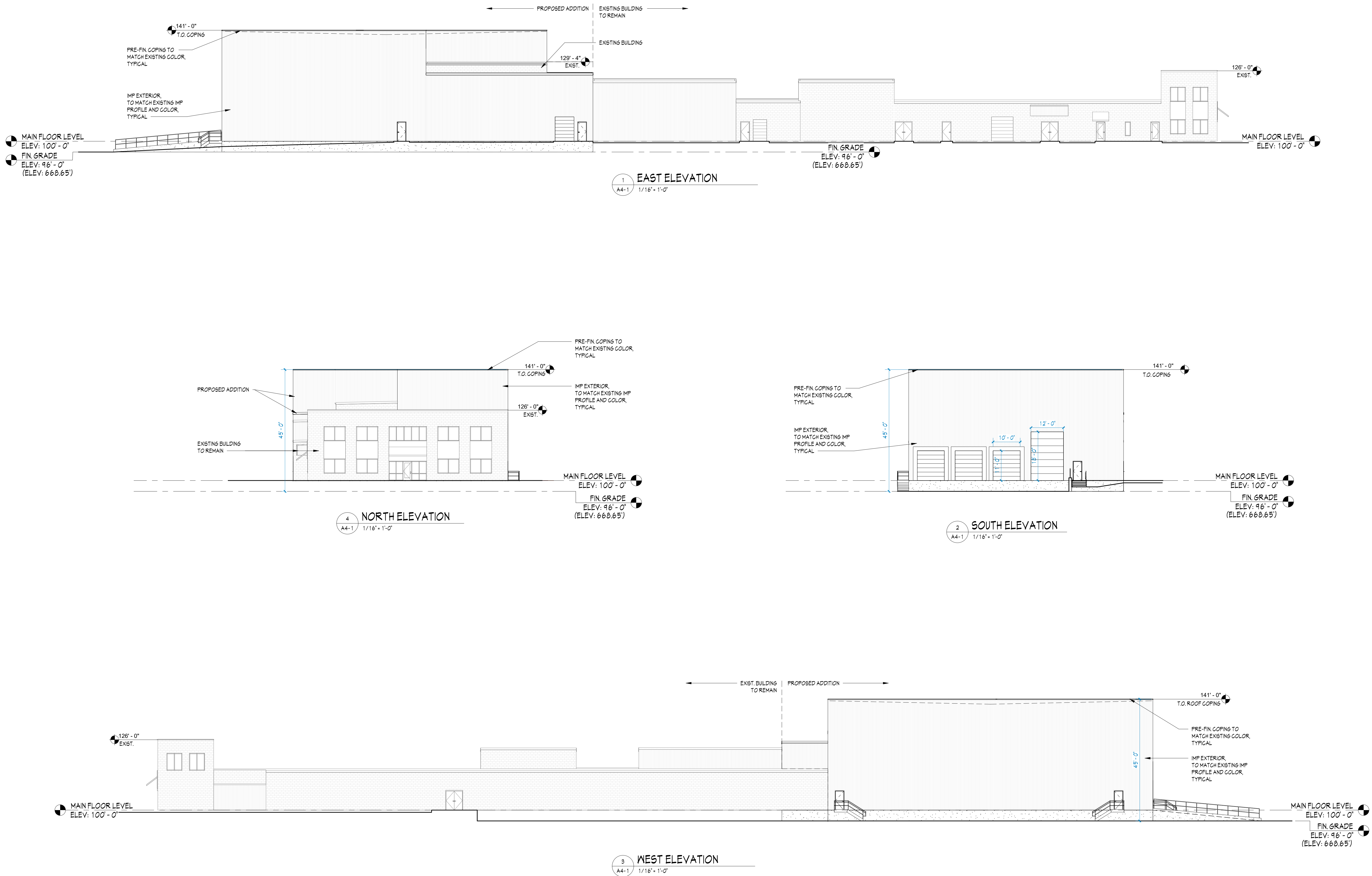
DRAWN: MSS

PROJECT #: 30-006602

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DRAWING NO:

PA1.1





**PLANNING COMMISSION
ANNUAL REPORT TO TOWNSHIP BOARD
Fiscal Year April 1, 2023 – March 31, 2024
Approved by Planning Commission
DRAFT**

Commission Members

Susan Burton, Angela Butterfield (Vice Chair), Sara Easter (Secretary)-(resigned 1/10/24), Catherine Jacobs (Township Board Representative), Jake Heglund-(resigned 5/26/23), Steve Kluting, Tom Korth (Chairperson), James Moyer, Rob VanderVennen

Staff

John D. Said, Director of Planning, Brent Bajdek, Planning & Zoning Administrator, and Elaine Buckley, Administrative Assistant

Meetings

A total of 12 regular meetings were held as follows:

4/20/23, *5/18/23, 6/15/23, 7/20/23, 8/17/23, 9/21/23, 10/19/23, 11/16/23, 12/21/23, 1/18/24, 2/15/24, 3/21/24; with no meetings cancelled.

*5/18/23 had no quorum, "non meeting" (agenda items were discussed but no action taken & items were moved to the June meeting).

Special meetings were held as follows:

1. 4/6/23 Review of Township Zoning Ordinance requirements regarding PVM & VR District Requirements

Public Hearings = 13

4/20/23 (3), 6/15/23 (1), 7/20/23 (2), 8/17/23 (2), 11/16/23 (1), 12/21/23 (1), 2/15/24 (1), 3/21/24 (2)

(Meetings recent history: 2023 – 12 regular meetings and 2 special meetings; 2022 - 11 regular meetings and 4 special meetings; 2021 – 10 regular meetings and 2 special meetings.)

Please see the attached Commission attendance summary.

Commission Activity Summary

Site Plan Reviews (4) (Recent history: 2023 - 6; 2022 – 3; 2021 – 6)

4/20/23 – SPR Accessory building in front yard, Engelsma Homes/Yang, 6100 Gr River Dr

– PC Approved SPR w/exterior lighting condition

7/20/23 – SPR for existing barn to become athletic facility, Wes Kent/Arena LLC, 6006 2 Mile Rd
– PC Approved SPR, subject to 1 condition

11/16/23 – SPR for accessory building in front yard, Tower Revocable Living Trust, 8003 Wilderness Trl
– PC Approved SPR with a specific location and 1 condition

3/21/24 – SPR for proposed addition at 6210 E. Fulton, Dan Vos Construction, Ada Valley Meats
– PC(tbd)

Planned Unit Developments (PUDs) (3) (Recent history: 2023 - 4; 2022 – 3; 2021 – 0)

8/17/23 – Request for Final PUD Approval, 12 single family residential dwellings, 3201 Egypt Valley, Hidden Lakes @Ada
– PC Approved Final PUD, subject to 10 conditions

8/17/23 – Request for amendment to an approved PUD, Ufuk Turan, 7510-7524 Fase St.
– PC tabled 8/17/23 - **8/18/23 request withdrawn by applicant**

3/21/24 – Request for PUD Amendment for expansion and amendment of an existing PUD for a commercial Warehouse/storage facility, The Caves/Tom Reed, 4900 & 4920 Fulton St E.
– PC(tbd)

PVM District Development Plan Reviews (7) (Recent history: 2023 - 7; 2022 – 2; 2021 – 6)

4/20/23 – PVM Develop Plan w/departures, Bronson St project, Let Us Develop
(tabled 2/16/23, 3/16/23, 4/20/23)

6/15/23 – Amended PVM Development Plan, Bronson St project, Let Us Develop, 7247, 7257, 7267 Bronson St (7 dwellings; 5 multi-family & 2 single bedroom)
– PC Approved the amended PVM, subject to findings and conditions

6/15/23 – Request extension of PVM approval, 7500 E Fulton (office building)
– PC Approved extension for one year (to 6/16/24)

6/15/23 – PVM Amendment/SPR Adding & expanding balconies to previously approved PVM Plan, Ufuk Turan, 7369 Thornapple River Dr
– PC Approved SPR w/proposed revisions

7/20/23 – PVM Overlay District Development w/departures, 2-story office building, Ada West Village Unit 8, 7159 Headley St SE
– PC Approved including departures, subject to findings and conditions

8/17/23 – Amended PVM /development Plan including departures, Oxbow LLC, 7535 & 7567 Fase
– PC Approved the amended PVM, including departures, subject to conditions

3/21/24 – Request extension of PVM approval, 7369 Thornapple River Dr (6-unit residential building)

- PC (tbd)

Land Division Requests (2)

- 7/20/23 – Land Division of platted lot creating 2 parcels, 7175 Bronson St, Tim VerMeulen
 - PC Approved land division, subject to the building envelopes for the proposed lots being indicated on survey drawing prior to staff signoff & approval
- 1/18/24 – Land Division creating 4 parcels from 1, White House Ventures, 7540 Conservation St
 - PC Approved land division, subject to 5 conditions

Special Use Requests (6) [\(Recent history: 2023 - 3; 2022 – 5; 2021 – 4\)](#)

- 4/20/23 – Special Use Permit to allow the total combined ground level floor area of all detached accessory buildings to exceed the maximum of 1,200 square feet permitted by right, B Papke, 780 Dogwood Ave SE
 - PC Approved Special Use Permit, subject to 2 conditions
- 7/20/23 – Special Use Permit to expand Ada Christian School, 6206 Ada Drive, Shawn Bates/Dan Vos Construction
 - PC Approved Special Use Permit, subject to 2 conditions
- 11/16/23 – Special Use Permit to expand St. Roberts School, 6477 Ada Drive SE
 - PC Approved Special Use Permit, subject to 4 conditions
- 12/21/23 – Special Use Permit for health care office (optometrist) with retail optical, Heather Jones, 7175 Headley St SE
 - PC Approved Special Use Permit
- 2/15/24 – Special Use Permit for new addition to previously approved classroom addition at Ada Christian School, 6206 Ada Drive SE
 - PC Approved Special Use Permit for the new addition
- 3/21/24 – Special Use Permit for vehicle fleet storage facility in the Industrial District, Jeffrey Bowerman/ 200 Alta Dale Holdings LLC, 200 Alta Dale Ave SE
 - PC(tbd)

Zoning Ordinance Text Amendments (2) [\(Recent history: 2023 - 6; 2022 – 3; 2021 – 2\)](#)

- 4/20/23 - Text Amendments Regarding a Proposed Temporary Moratorium on Approvals for Construction, Development, Lot Changes, and Related Approvals for Permits for Proposed Development within the VP2 (Village Proper 2) Transect Zone Area of the PVM (Planned Village Mixed-Use) Overlay District
 - 4/20/23 PC Approved & recommended to Township Board of 45-day Zoning Ordinance moratorium
 - 5/8/23 Township Board Approved Temporary Moratorium; Ord 050823-2

- 4/20/23 - Text Amendments Regarding Requirements of the PVM (Planned Village Mixed-Use) Overlay District and the VR (Village Residential) Zoning District
- 4/20/23 PC Approved & recommended to Township Board of text amendments to PVM & VR districts
 - 5/8/23 Township Board Approved Text Amendments; Ord 050823-1

Zoning Map Amendments (Rezoning) (0) (Recent history: 2023 - 2; 2022 – 1; 2021 – 0)

Other Actions

- Master Plan Process (Dec. 2021 – July 2023) - Agenda items – (Consultants Progressive AE):
 - 3/27/23 – Township Board approved the Master Plan draft for public release
 - 6/15/23 – Planning Commission Public Hearing – consider approval of the Master Plan
 - PC Approved & recommended to Township Board
 - 7/10/23 - Master Plan Approved & Resolution No. R-071023-1 adopted by Township Board
- Proposed Temporary 90-day Moratorium (Administrative) – PC approved 3/16/23 & recommended to Township Board. Township Board approved Moratorium on 3/27/23 (Moratorium 3/27/23 to 6/27/23)
- Annual Report 2023-2024 approved _____
- Planning Commission Training Workshop – September 2023
- Planning Commission Strategic Planning Session/Training Follow-up – October 2023
- Election of Officers FY 2024-2025 – Planning Commission meeting March 21, 2024.
Election of Officers: Chair – Korth, Vice Chair – Butterfield, Secretary -

ADA TOWNSHIP PLANNING COMMISSION MEETING ATTENDANCE RECORD APRIL 2023 – MARCH 2024							
MEETING DATE	BUTTERFIELD	EASTER	JACOBS	MOYER	KORTH	BURTON	HEGLUND
April 6 SPECIAL MEETING	X	X	Absent - Excused	X	X	X	X
April 20	X	X	X	X	Absent – Excused	Absent – Excused	X
*May 18	X	Absent - Excused	Absent - Excused	X	X	Absent - Excused	Absent - Excused
June 15	Absent - Excused	X	X	X	X	X	5/26/23 Jake resigned
July 20	*Absent – Not Excused	X	X	X	X	X	-----
August 17	X	Absent – Excused	Absent - Excused	X	X	X	* KLUTING X
September 21	X	X	X	X	X	X	X
October 19	X	X	Absent - Excused	X	X	X	X
November 16	X	X	X	Absent - Excused	X	X	X
December 21	X	X	X	X	X	X	X
		1/10/24 Sara resigned					
January 18	X	---	X	X	X	Absent Excused	X
February 15	X	* VANDER VENNEN	X	X	X	Absent Excused	X
March 21							
Total Attended							
Total Absences							

X = Present

*5/18/23 Absences excused, but two were very last minute – No Quorum

*7/20/23 – Butterfield absent not excused, (no notification)

*8/14/23 Steve Kluting appointed to PC Board

*2/12/24 Rob VanderVennen appointed to PC Board